



BREAKAWAY

A NEW MOUNTAIN VILLAGE

THE VILLAGE SMARTCODE

MARCH 17, 2005

Breakaway Land Company L.L.C.
Developer

TOWN PLANNING & URBAN DESIGN COLLABORATIVE L.L.C.
Master Plan & SmartCode Customization

SmartCode V.8.0 Template - Duany Plater-Zyberk & Company

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BREAKAWAY

A NEW MOUNTAIN VILLAGE

ARTICLE 1

BUILDING SCALE PLANS

1.1 INSTRUCTIONS

- 1.1.1 An owner shall have site and building plans prepared on their behalf.
- 1.1.2 Site and building plans require administrative approval by the BARC.
- 1.1.3 The requirements described in this Article shall control the Disposition, Configuration and Function of buildings, as well as their architectural, landscape, signage, and ambient standards.
- 1.1.4 Building and Site Plans submitted under this Article shall comply with the requirements set forth in APPENDICIES A-D.

1.2 GENERAL

- 1.2.1 The Design Code is conceived and administered to guide the building of the community of Breakaway. This Code assures that all new buildings are harmonious with each other and with the language of the traditional architecture of the area.
- 1.2.2 The Design Code is legally binding by contract with the Breakaway Community Association as a condition of the purchase of land within the community. It is administered by the Breakaway Architectural Review Committee. The Architectural Review Committee reviews all improvements to Breakaway for adherence to the Design Code.
- 1.2.3 In matters of urban structure and aesthetics, the provisions of this Code shall take precedence over local zoning codes, subdivision regulations and ordinances. In matters of health and safety the local zoning codes and ordinances shall take precedence over the provisions of this Code.
- 1.2.4 Waivers to provisions of this Code are considered unique and are not to set a precedent for future waivers. A waiver may be granted by the Architectural Review Committee on the basis of hardship, merit or excellence.
- 1.2.5 The Design Code is a series of prescriptions, some of which are *mandatory* and others which are only *recommended*. The mandatory prescriptions are indicated by the verb *shall*. The recommended ones are indicated by the word *should*. Options that are allowed but neither recommended or discouraged are indicated by the word *may*.
- 1.2.6 While this code covers a wide range of topics, it is comprehensive. For this reason, the Breakaway Architectural Review Committee is required to make decisions based upon the professional expertise of its members. These decisions shall be strictly guided by the intent of this code and the local vernacular architecture.

1.3 SPECIFIC TO SUB-URBAN TRANSECT ZONE (T3)

- 1.3.1 **Building Disposition (T3)**
 - a. Newly platted lots shall be dimensioned according to Section 1.3.11
 - b. Buildings shall be disposed in relation to the boundaries of their lots according to [Section 1.3.11]
 - c. One Principal Building at the Frontage, and one Outbuilding to the rear of the Principal Building, may be built on each lot as shown in [Section 1.3.11] with the exception of Hillside Villas.
 - d. Lot coverage by building shall not exceed that shown in [Section 1.3.11].

- e. Facades shall be built parallel to a rectilinear Principal Frontage Line or parallel to the tangent of a curved Principal Frontage Line.
 - f. Setbacks for Principal Buildings shall be as shown in [Section 1.3.11]. Setbacks may otherwise be adjusted by Variance.
 - g. Rear Setbacks for Outbuildings shall be as shown in [Section 1.3.11]. In the presence of Rear Alley or Lane, the rear Setback shall be a minimum of 12 feet measured from the centerline of the Alley or Rear Lane easement.
 - h. Building Types shall be as shown in [Table 6].
- 1.3.2 **Building Configuration (T3)**
- a. Private Frontage types shall conform to and be allocated in accordance with [Table3] and [Section 1.3.11].
 - d. Building Heights shall conform to [Table 5] and be as shown in [Section 1.3.11].
- 1.3.3 **Building Function & Density (T3)**
- a. Buildings shall conform to the Functions described in [Table 7] and [Section 1.3.11]. Functions that do not conform to the requirements of [Tables 7] shall require approval by Variance.
- 1.3.4 **Parking Standards (T3)**
- a. Parking shall be accessed by an alley or rear lane when are available on the Master Plan/Regulating Plan.
 - b. Parking lots shall be masked from the Frontage by a Liner Building or Streetscreen as specified in [Section 1.3.11].
- 1.3.5 **Urban Standards (T3)**
[SEE APPENDIX B]
- 1.3.6 **Architectural Standards (T3)**
[SEE APPENDIX C]
- 1.3.7 **Signage Standards (T3)**
[See Appendix C]
- 1.3.8 **Environmental Standards (T3)**
[SEE APPENDIX D]
- 1.3.9 **Landscape Standards (T3)**
[SEE APPENDIX D]
- 1.3.10 **Ambient Standards (T3)**
- a. Sound levels measured at the building Frontage shall not exceed 65 decibels from sunrise to sunset and 55 decibels from sunset to sunrise.
 - b. Average lighting levels measured at the building Frontage shall not exceed 1.0 fc (foot-candles).
 - c. Streetlights shall be designed in accordance with the character of the Transect Zone in which they appear.
 - d. Outdoor storage shall be screened from view from any Frontage by a Streetscreen in conformance with [Section 1.3.11].

BREAKAWAY VILLAGE SMARTCODE

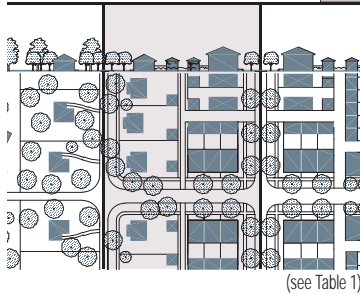
WOLF LAUREL, NORTH CAROLINA

ARTICLE 1. BUILDING SCALE PLANS

SECTION 1.3.11

T3

T3 HILLSIDE VILLA (UP HILL)



BUILDING FUNCTION (see Table 7)

a. Residential	open use
b. Lodging	open use
c. Office	limited use
d. Retail	prohibited

BUILDING HEIGHT (see Table 5)

a. Principal Building	2 stories
b. Outbuilding	2 stories max.
c. First floor above grade	18 in. min.
d. First floor above walk	15 ft. max.

LOT OCCUPATION

a. Lot Width	80 ft. min.
b. Lot Depth	100 ft. min.
c. Lot Coverage	40% min.

BUILDING TYPE (see Table 6)

a. Edgeyard	permitted
b. Sideyard	prohibited
c. Rearyard	prohibited
d. Courtyard	prohibited

BUILDING DISPOSITION

a. Front Setback	18 ft. min. - 25 ft.
b. Side Setback	25 ft. max; 15 ft. min.
c. Rear Setback	0 ft. min.
d. Frontage Buildout	40% min. at setback

OUTBUILDING DISPOSITION

a. Front Setback	N/A
b. Side Setback	0 ft. min.
c. Rear Setback	0 ft. max.

ENCROACHMENTS

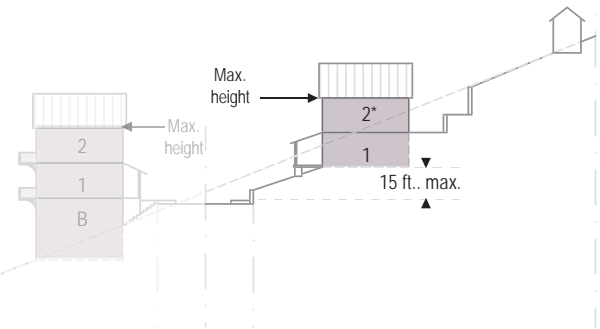
a. At Bldg. Frontage	8 ft. max.
b. At Bldg. Side	8 ft. max.
c. At Bldg. Rear	0 ft.

PRIVATE FRONTAGES (see Table 4)

a. Common Lawn	permitted
b. Porch & Fence	permitted
c. Terrace or L.C.	prohibited
d. Forecourt	prohibited
e. Stoop	permitted
f. Shopfront & Awning	prohibited
g. Gallery	prohibited
h. Arcade	prohibited

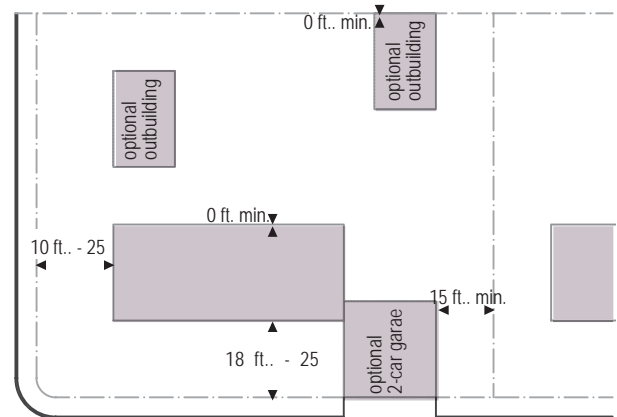
BUILDING HEIGHT

1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



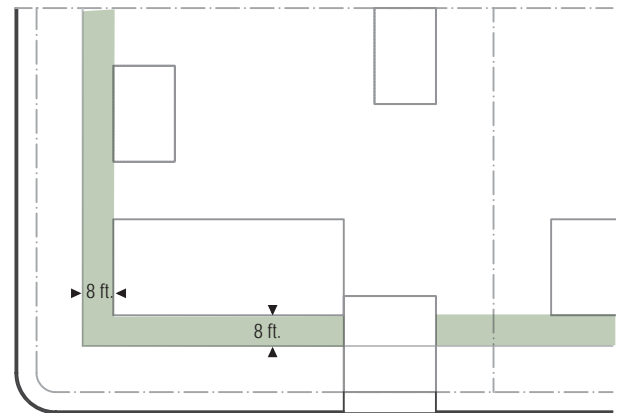
BUILDING DISPOSITION

1. The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
2. Facades shall be built along the principal frontage to a minimum of 50% of its width of the principal frontage.
3. Small ancillary dwelling units and outbuildings are permitted with approval by the BARC.
4. If a garage is situated at the frontage, a setback of 0 ft. is required.



ENCROACHMENT ZONE

1. Stoops, bay windows, open porches and balconies may be located within the setbacks as shown in the diagram.
2. Utility connections, A/C units or dryer vents shall only be located on elevations within the alley or between houses.



BREAKAWAY VILLAGE SMARTCODE

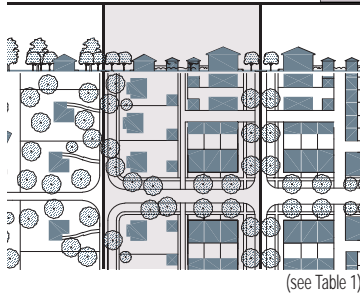
WOLF LAUREL, NORTH CAROLINA

ARTICLE 1. BUILDING SCALE PLANS

SECTION 1.3.11

T3

T3 HILLSIDE VILLA (DOWN HILL)



BUILDING FUNCTION (see Table 7)

a. Residential	open use
b. Lodging	open use
c. Office	limited use
d. Retail	prohibited

BUILDING HEIGHT (see Table 5)

a. Principal Building	3 stories max.
b. Outbuilding	2 stories max.
c. First floor above grade	12 in. min.
d. First floor above walk	15 ft. max.

LOT OCCUPATION

a. Lot Width	80 ft. min.
b. Lot Depth	100 ft. min.
c. Lot Coverage	30% min.

BUILDING TYPE (see Table 6)

a. Edgeyard	permitted
b. Sideyard	prohibited
c. Rearyard	prohibited
d. Courtyard	prohibited

BUILDING DISPOSITION

a. Front Setback	10 ft. max.
b. Side Setback	10 ft. c; 15 ft. mb
c. Rear Setback	0 ft. min.
d. Frontage Buildout	40% min. at setback

OUTBUILDING DISPOSITION

a. Front Setback	N/A
b. Side Setback	0 ft. min.
c. Rear Setback	0 ft. max.

ENCROACHMENTS

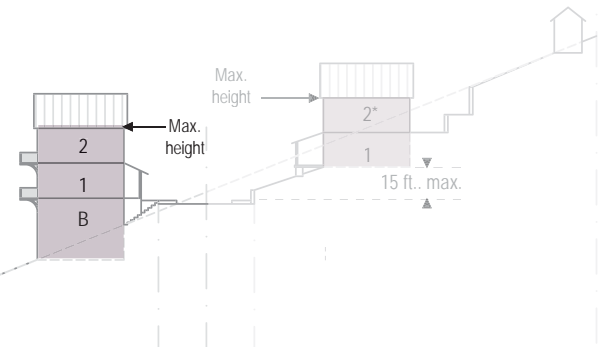
a. At Bldg. Frontage	8 ft. max.
b. At Bldg. Side	8 ft. max.
c. At Bldg. Rear	0 ft.

PRIVATE FRONTAGES (see Table 4)

a. Common Lawn	permitted
b. Porch & Fence	permitted
c. Terrace or L.C.	permitted
d. Forecourt	prohibited
e. Stoop	permitted
f. Shopfront & Awning	prohibited
g. Gallery	prohibited
h. Arcade	prohibited

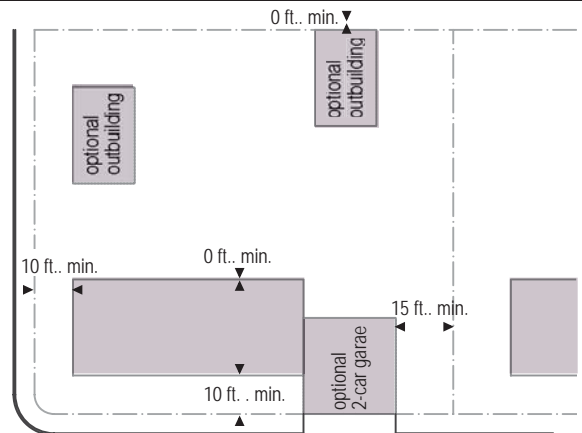
BUILDING HEIGHT

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2. Each story shall not exceed 14 ft. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



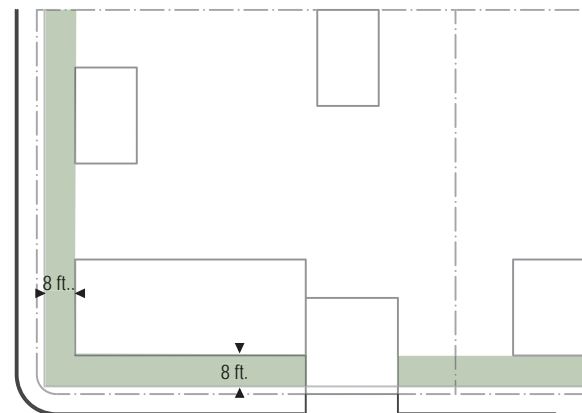
BUILDING DISPOSITION

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2. Facades shall be built along the principal frontage to a minimum of 50% of its width of the principal frontage.
3. Small ancillary dwelling units and outbuildings are permitted with approval by the BARC.
4. If a garage is situated at the frontage, a setback of 0 ft. is required.



ENCROACHMENT ZONE

1. Stoops, bay windows, open porches and balconies may be located within the setbacks as shown in the diagram.
2. Utility connections, A/C units or dryer vents shall only be located on elevations within the alley or between houses.



BREAKAWAY VILLAGE SMARTCODE

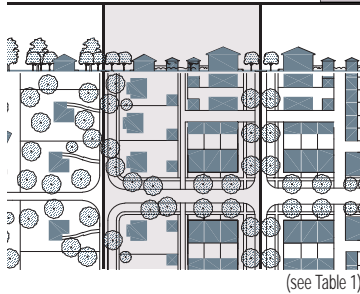
WOLF LAUREL, NORTH CAROLINA

ARTICLE 1. BUILDING SCALE PLANS

SECTION 1.3.11

T3

T3 LARGE HOUSE (UP HILL)



BUILDING FUNCTION (see Table 7)

a. Residential	open use
b. Lodging	open use
c. Office	limited use
d. Retail	prohibited

BUILDING HEIGHT (see Table 5)

a. Principal Building	2 stories
b. Outbuilding	2 stories max.
c. First floor above grade	12 in. min.
d. First floor above walk	15 ft. max.

LOT OCCUPATION

a. Lot Width	80 ft. min.
b. Lot Depth	100 ft. min.
c. Lot Coverage	30% min.

BUILDING TYPE (see Table 6)

a. Edgeyard	permitted
b. Sideyard	prohibited
c. Rearyard	prohibited
d. Courtyard	prohibited

BUILDING DISPOSITION

a. Front Setback	18 ft. - 25 ft.
b. Side Setback	10 ft. - 25 ft.; 15 ft. mb
c. Rear Setback	0 ft. min.

OUTBUILDING DISPOSITION

a. Front Setback	N/A
b. Side Setback	0 ft. min.
c. Rear Setback	0 ft. max.

ENCROACHMENTS

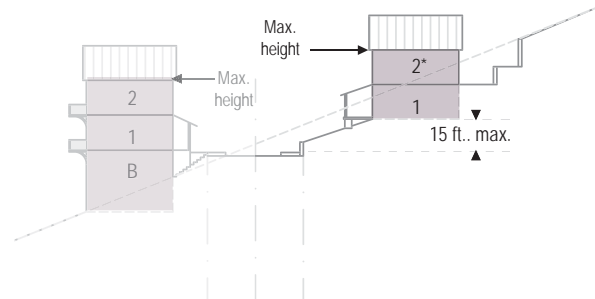
a. At Bldg. Frontage	8 ft. max.
b. At Bldg. Side	8 ft. max.
c. At Bldg. Rear	0 ft.

PRIVATE FRONTAGES (see Table 4)

a. Common Lawn	permitted
b. Porch & Fence	permitted
c. Terrace or L.C.	permitted
d. Forecourt	prohibited
e. Stoop	permitted
f. Shopfront & Awning	prohibited
g. Gallery	prohibited
h. Arcade	prohibited

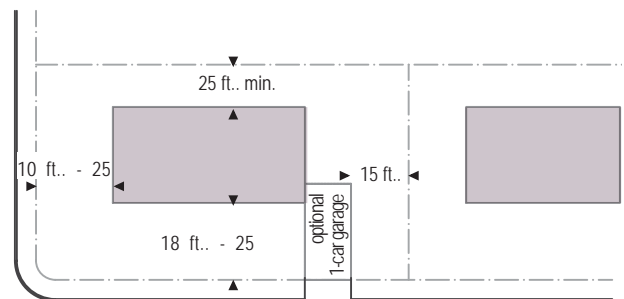
BUILDING HEIGHT

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2. Each story shall not exceed 14 ft. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



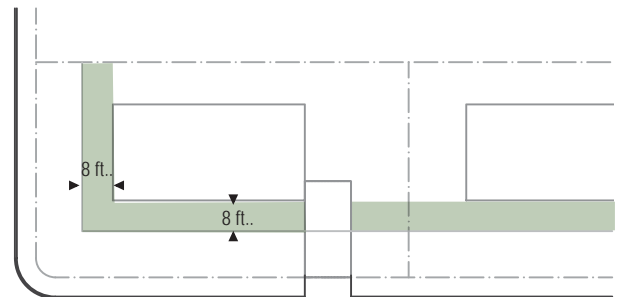
BUILDING DISPOSITION

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2. Facades shall be built along the principal frontage to a minimum of 50% of its width of the principal frontage.
3. If a garage is situated at the frontage, a setback of 0 ft. is required.



ENCROACHMENT ZONE

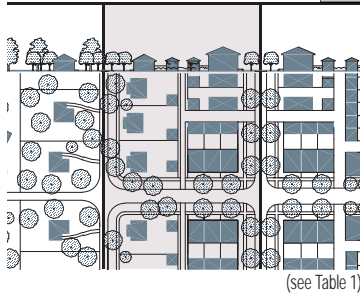
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2. Utility connections, A/C units or dryer vents shall only be located on elevations within the alley or between houses.



SECTION 1.3.11

T3

T3 LARGE HOUSE (DOWN HILL)

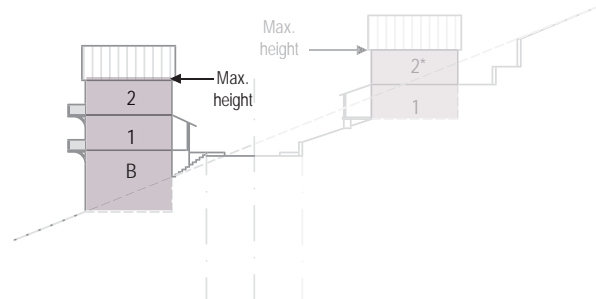


(see Table 1)

BUILDING FUNCTION (see Table 7)	
a. Residential	open use
b. Lodging	open use
c. Office	limited use
d. Retail	prohibited
BUILDING HEIGHT (see Table 5)	
a. Principal Building	3 stories max.
b. Outbuilding	2 stories max.
c. First floor above grade	18 in. min.
LOT OCCUPATION	
a. Lot Width	60 ft. - 70 ft..
b. Lot Coverage	70% max
BUILDING TYPE (see Table 9)	
a. Edgeyard	permitted
b. Sideyard	permitted
c. Rearyard	permitted
d. Courtyard	prohibited
BUILDING DISPOSITION	
a. Front Setback	10 ft. min.
b. Side Setback	10 ft. ; 15 ft. midblock
c. Rear Setback	25 ft. min.
d. Frontage Buildout	40% min. at setback
OUTBUILDING DISPOSITION	
a. Front Setback	N/A
b. Side Setback	0 ft. min.
c. Rear Setback	3 ft. max.
PRIVATE FRONTAGES (see Table 4)	
a. Common Lawn	permitted
b. Porch & Fence	permitted
c. Terrace or L.C.	permitted
d. Forecourt	prohibited
e. Stoop	permitted
f. Shopfront & Awning	prohibited
g. Gallery	prohibited
h. Arcade	prohibited

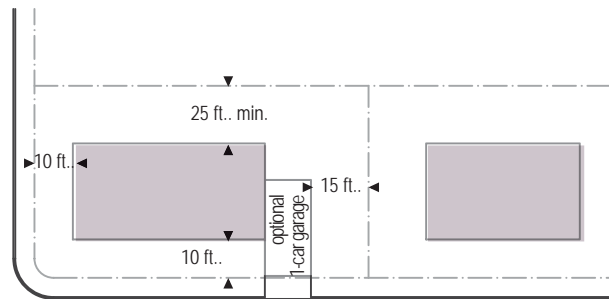
BUILDING HEIGHT

1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft.. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



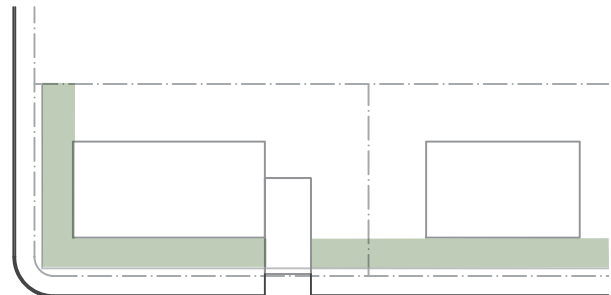
BUILDING DISPOSITION

1. The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
2. Facades shall be built along the principal frontage to a minimum of 50% of its width of the principal frontage.
3. If a garage is situated at the frontage, a setback of 0 ft.. is required.



ENCROACHMENT ZONE

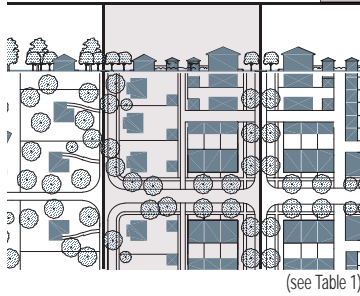
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2. Utility connections, A/C units or dryer vents shall only be located on elevations within the alley or between houses.



SECTION 1.3.11

T3

T3 HOUSE (UP HILL)

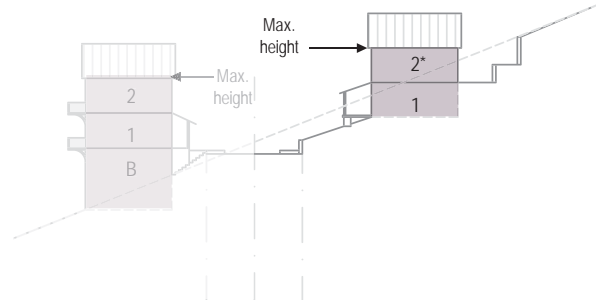


(see Table 1)

BUILDING FUNCTION (see Table 7)	
a. Residential	open use
b. Lodging	open use
c. Office	limited use
d. Retail	prohibited
BUILDING HEIGHT (see Table 5)	
a. Principal Building	2 stories max. 2 min.
b. Outbuilding	2 stories max.
c. First floor above grade	18 in. min.
LOT OCCUPATION	
a. Lot Width	50 ft.. - 60 ft..
b. Lot Coverage	70% max
BUILDING TYPE (see Table 6)	
a. Edgeyard	permitted
b. Sideyard	permitted
c. Rearyard	permitted
d. Courtyard	prohibited
BUILDING DISPOSITION	
a. Front Setback	18 ft.. - 25 ft..
b. Side Setback	10 ft.. - 25 ft..; 15
c. Rear Setback	ft.. mb
d. Frontage Buildout	0 ft..
ENCROACHMENTS	
a. At Bldg. Frontage	10 ft.. min.
b. At Bldg. Side	10 ft..
c. At Bldg. Rear	0 ft..
OUTBUILDING DISPOSITION	
a. Front Setback	N/A
b. Side Setback	0 ft.. min.
c. Rear Setback	0 ft.. max.
PRIVATE FRONTAGES (see Table 4)	
a. Common Lawn	permitted
b. Porch & Fence	permitted
c. Terrace or L.C.	prohibited
d. Forecourt	prohibited
e. Stoop	permitted
f. Shopfront & Awning	prohibited
g. Gallery	prohibited
h. Arcade	prohibited

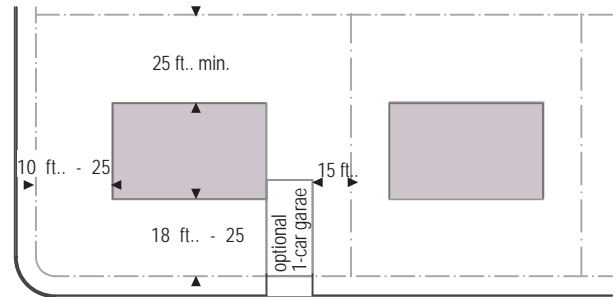
BUILDING HEIGHT

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2. Each story shall not exceed 14 ft.. clear, floor to ceiling.
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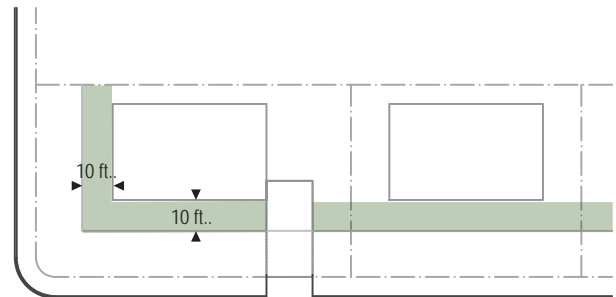
BUILDING DISPOSITION

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2. Facades shall be built along the principal frontage to a minimum of 50% of its width of the principal frontage.
3. If a garage is situated at the frontage, a setback of 0 ft.. is required.



ENCROACHMENT ZONE

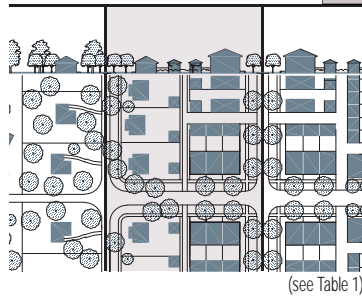
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SECTION 1.3.11

T3

T3 HOUSE (DOWN HILL)

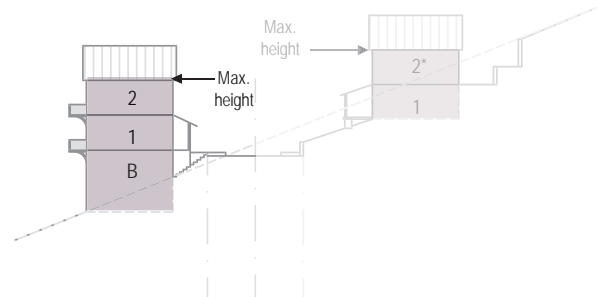


(see Table 1)

BUILDING FUNCTION (see Table 7)	
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c. Office	limited use
d. Retail	prohibited
BUILDING HEIGHT (see Table 5)	
a. Principal Building	2 stories max. 2 min.
b. Outbuilding	2 stories max.
c. First floor above grade	18 in. min.
LOT OCCUPATION	
a. Lot Width	50 ft.. - 60 ft..
b. Lot Coverage	70% max
BUILDING TYPE (see Table 6)	
a. Edgeyard	permitted
b. Sideyard	permitted
c. Rearyard	permitted
d. Courtyard	prohibited
BUILDING DISPOSITION	
a. Front Setback	10 ft.. min.
b. Side Setback	10 ft.. max.; 15 ft.. mb
c. Rear Setback	25 ft.. min.
d. Frontage Buildout	50% min. at setback
ENCROACHMENTS	
a. At Bldg. Frontage	8 ft.. min.
b. At Bldg. Side	8 ft..
c. At Bldg. Rear	0 ft..
OUTBUILDING DISPOSITION	
a. Front Setback	N/A
b. Side Setback	0 ft.. min.
c. Rear Setback	0 ft.. max.
PRIVATE FRONTAGES (see Table 4)	
a. Common Lawn	permitted
b. Porch & Fence	permitted
c. Terrace or L.C.	permitted
d. Forecourt	prohibited
e. Stoop	permitted
f. Shopfront & Awning	prohibited
g. Gallery	prohibited
h. Arcade	prohibited

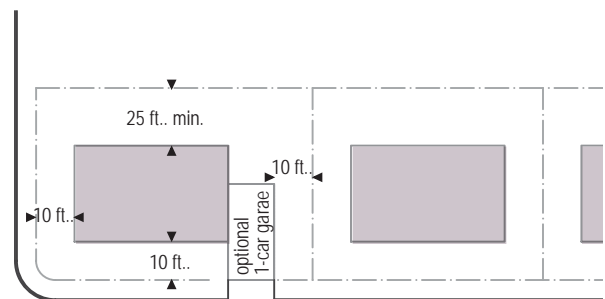
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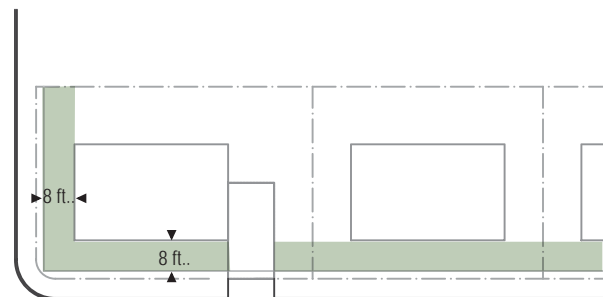
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2. Utility connections, A/C units or dryer vents shall only be located on elevations within the alley or between houses.



BREAKAWAY VILLAGE SMARTCODE

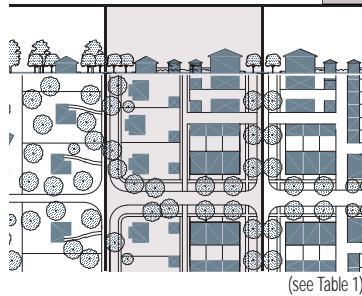
WOLF LAUREL, NORTH CAROLINA

ARTICLE 1. BUILDING SCALE PLANS

SECTION 1.3.11

T3

T3 SMALL HOUSE (UP HILL)

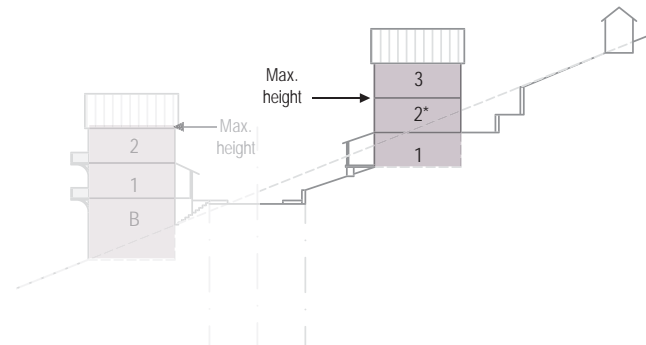


(see Table 1)

BUILDING FUNCTION (see Table 7)	
a. Residential	open use
b. Lodging	open use
c. Office	limited use
d. Retail	prohibited
BUILDING HEIGHT (see Table 5)	
a. Principal Building	3 stories max. 2 min.
b. Outbuilding	2 stories max.
c. First floor above grade	18 in. min.
LOT OCCUPATION	
a. Lot Width	35 ft. - 50 ft.
b. Lot Coverage	70% max
BUILDING TYPE (see Table 6)	
a. Edgeyard	permitted
b. Sideyard	permitted
c. Rearyard	permitted
d. Courtyard	prohibited
BUILDING DISPOSITION	
a. Front Setback	18 ft. - 25 ft.
b. Side Setback	10 ft. - 25 ft.; 15
c. Rear Setback	ft. mb
d. Frontage Buildout	25 ft. min.
OUTBUILDING DISPOSITION	
a. Front Setback	N/A
b. Side Setback	0 ft. min.
c. Rear Setback	0ft. max.
ENCROACHMENTS	
a. At Bldg. Frontage	10 ft. min.
b. At Bldg. Side	10 ft.
c. At Bldg. Rear	0 ft.
PRIVATE FRONTAGES (see Table 4)	
a. Common Lawn	permitted
b. Porch & Fence	permitted
c. Terrace or L.C.	prohibited
d. Forecourt	prohibited
e. Stoop	permitted
f. Shopfront & Awning	prohibited
g. Gallery	prohibited
h. Arcade	prohibited

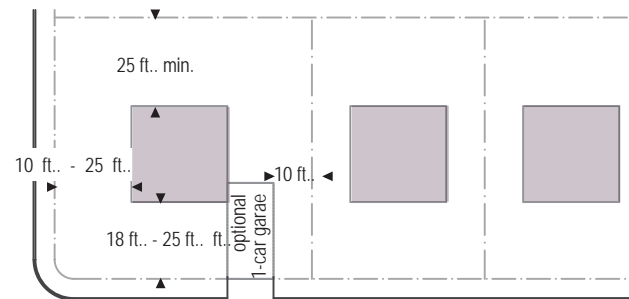
BUILDING HEIGHT

1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



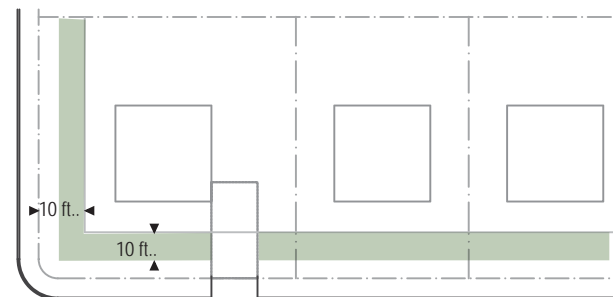
BUILDING DISPOSITION

1. The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
2. Facades shall be built along the principal frontage to a minimum of 50% of its width of the principal frontage.
3. If a garage is situated at the frontage, a setback of 0 ft. is required.



ENCROACHMENT ZONE

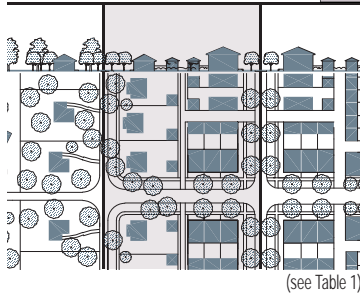
1. Stoops, bay windows, open porches and balconies may be located within the setbacks as shown in the diagram.
2. Utility connections, A/C units or dryer vents shall only be located on elevations within the alley or between houses.



SECTION 1.3.11

T3

T3 SMALL HOUSE (DOWN HILL)

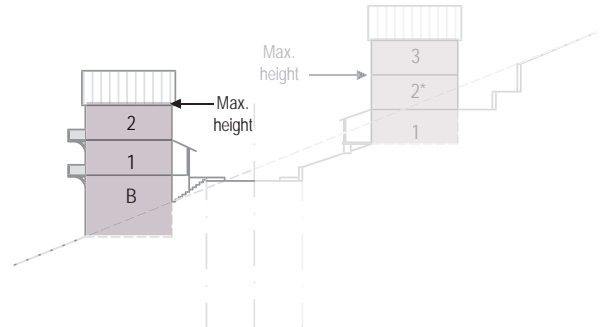


(see Table 1)

BUILDING FUNCTION (see Table 7)	
a. Residential	open use
b. Lodging	open use
c. Office	limited use
d. Retail	prohibited
BUILDING HEIGHT (see Table 5)	
a. Principal Building	3 stories max. 2 min.
b. Outbuilding	2 stories max.
c. First floor above grade	18" min.
LOT OCCUPATION	
a. Lot Width	35'-50'
b. Lot Coverage	70% max
BUILDING TYPE (see Table 6)	
a. Edgeyard	permitted
b. Sideyard	permitted
c. Rearyard	permitted
d. Courtyard	prohibited
BUILDING DISPOSITION	
a. Front Setback	10 ft.. min.
b. Side Setback	10 ft..:15 ft.. midblock
c. Rear Setback	25 ft.. min.
d. Frontage Buildout	60% min. at setback
OUTBUILDING DISPOSITION	
a. Front Setback	N/A
b. Side Setback	0 ft.. min.
c. Rear Setback	0 ft.. max.
ENCROACHMENTS	
a. At Bldg. Frontage	8 ft.. min.
b. At Bldg. Side	8 ft..
c. At Bldg. Rear	0 ft..
PRIVATE FRONTAGES (see Table 4)	
a. Common Lawn	permitted
b. Porch & Fence	permitted
c. Terrace or L.C.	permitted
d. Forecourt	prohibited
e. Stoop	permitted
f. Shopfront & Awning	prohibited
g. Gallery	prohibited
h. Arcade	prohibited

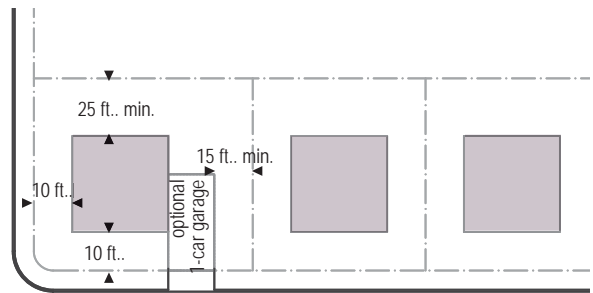
BUILDING HEIGHT

1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft.. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



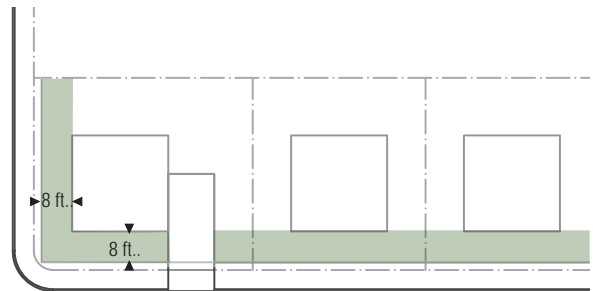
BUILDING DISPOSITION

1. The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
2. Facades shall be built along the principal frontage to a minimum of 50% of its width of the principal frontage.
3. If a garage is situated at the frontage, a setback of 0 ft.. is required.



ENCROACHMENT ZONE

1. Stoops, bay windows, open porches and balconies may be located within the setbacks as shown in the diagram.
2. Utility connections, A/C units or dryer vents shall only be located on elevations within the alley or between houses.



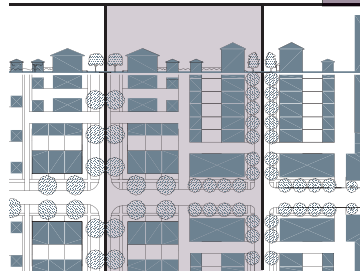
- 1.4 **SPECIFIC TO GENERAL URBAN TRANSECT ZONES (T4)**
- 1.4.1 **Building Disposition (T4)**
- a. Buildings shall be disposed in relation to the boundaries of their lots according to [Section 1.4.11]
 - b. One Principal Building at the Frontage, and one Outbuilding to the rear of the Principal Building, may be built on each lot.
 - c. Lot coverage by building shall not exceed that shown in [Section 1.4.11].
 - d. Facades shall be built parallel to a rectilinear Principal Frontage Line or parallel to the tangent of a curved Principal Frontage Line.
 - e. Setbacks for Principal Buildings shall be as shown in [Section 1.4.11]. Setbacks may otherwise be adjusted by Variance.
 - f. Rear Setbacks for Outbuildings shall be as shown in [Section 1.3.11]. In the presence of Rear Alley or Lane, the rear Setback shall be a minimum of 12 feet measured from the centerline of the Alley or Rear Lane easement.
 - g. Building Types shall be as shown in [Table 6].
- 1.4.2 **Building Configuration (T4)**
- a. Private Frontage types shall conform to and be allocated in accordance with [Table 4] and [Section 1.4.11].
 - b. Loading docks and service areas shall be permitted on Frontages only by Variance.
 - c. Building Heights shall conform to [Table 5] and be as shown in [Section 1.4.11].
- 1.4.3 **Building Function & Density (T4)**
- a. Buildings shall conform to the Functions described in [Tables 7] and [Section 1.4.11.] Functions that do not conform to the requirements of [Tables 7] shall require approval by Variance.
 - b. Accessory uses of Limited Lodging or Limited Office shall be permitted within an Outbuilding.
- 1.4.4 **Parking Standards (T4)**
- a. Parking shall be accessed by the Alley or Rear Lane, when such are available on the Master Plan/Regulating Plan
 - b. Parking lots shall be masked from the Frontage by a Liner Building or Streetscreen.
- 1.4.5 **Urban Standards (T3)**
[SEE APPENDIX B]
- 1.4.6 **Architectural Standards (T3)**
[SEE APPENDIX C]
- 1.4.7 **Signage Standards (T3)**
[See Appendix C]
- 1.4.8 **Environmental Standards (T3)**
[SEE APPENDIX D]
- 1.4.9 **Landscape Standards (T3)**
[SEE APPENDIX D]
- 1.4.10 **Ambient Standards (T4)**
- a. Sound levels measured at the building Frontage shall not exceed 65 decibels from sunrise to sunset and 55 decibels from sunset to sunrise.

- b. Average lighting levels measured at the building Frontage shall not exceed 2.0 fc (foot-candles) .
- c. Streetlights shall be designed in accordance with the character of the Transect Zone in which they appear.
- d. Outdoor storage shall be screened from view from any Frontage by a Streetscreen in conformance with [Section 1.4.11]

SECTION 1.4.11

T4

T4 LARGE HOUSE

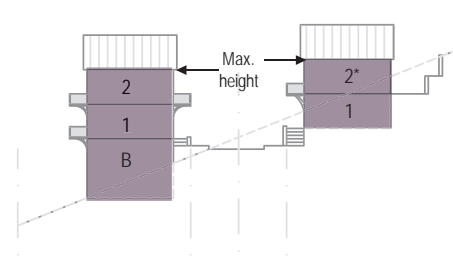


(see Table 1)

BUILDING FUNCTION (see Table 7)	
a. Residential	open use
b. Lodging	open use
c. Office	limited use
d. Retail	prohibited
BUILDING HEIGHT (see Table 5)	
a. Principal Building	3 stories max. 2 min.
b. Outbuilding	2 stories max.
c. First floor above grade	18" min.
LOT OCCUPATION	
a. Lot Width	60'-70'
b. Lot Coverage	70% max
BUILDING TYPE (see Table 6)	
a. Edgeyard	permitted
b. Sideyard	permitted
c. Rearyard	permitted
d. Courtyard	prohibited
BUILDING DISPOSITION	
a. Front Setback	5 ft..
b. Side Setback	5 ft.. min.
c. Rear Setback	25 ft.. min.
d. Frontage Buildout	60% min. at setback
OUTBUILDING DISPOSITION	
a. Front Setback	N/A
b. Side Setback	0 ft.. min.
c. Rear Setback	0 ft.. max.
PRIVATE FRONTAGES (see Table 4)	
a. Common Lawn	permitted
b. Porch & Fence	permitted
c. Terrace or L.C.	prohibited
d. Forecourt	prohibited
e. Stoop	permitted
f. Shopfront & Awning	prohibited
g. Gallery	prohibited
h. Arcade	prohibited

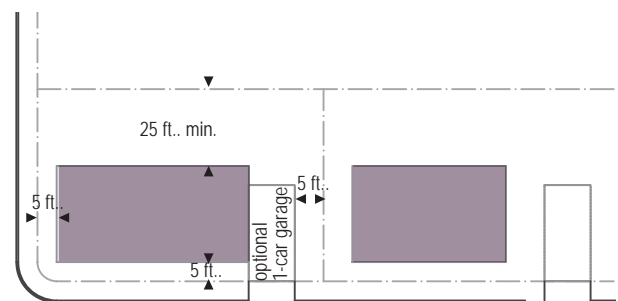
BUILDING HEIGHT

1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



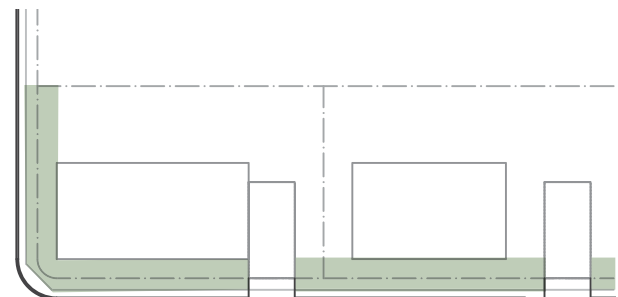
BUILDING DISPOSITION

1. The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
2. Buildings shall have facades along principal frontage lines and elevations along lot lines. (see Table 16E).
3. If a garage is situated at the frontage, a setback of 0 ft.. is required.



ENCROACHMENT ZONE

1. Stoops, bay windows, open porches and balconies may be located within the setbacks as shown in the diagram.
2. Utility connections, A/C units or dryer vents shall only be located on elevations within the alley or between houses.

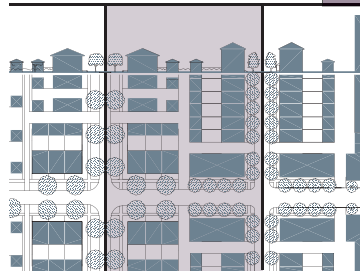


* in the presence of an alley the rear setback is 0 ft..

SECTION 1.4.11

T4

T4 HOUSE

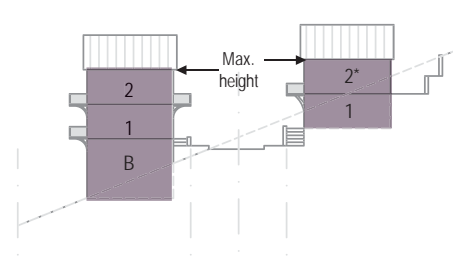


(see Table 1)

BUILDING FUNCTION (see Table 7)	
a. Residential	open use
b. Lodging	open use
c. Office	limited use
d. Retail	prohibited
BUILDING HEIGHT (see Table 5)	
a. Principal Building	3 stories max. 2 min.
b. Outbuilding	2 stories max.
c. First floor above grade	18" min.
LOT OCCUPATION	
a. Lot Width	50'-60'
b. Lot Coverage	70% max
BUILDING TYPE (see Table 6)	
a. Edgeyard	permitted
b. Sideyard	permitted
c. Rearyard	permitted
d. Courtyard	prohibited
BUILDING DISPOSITION	
a. Front Setback	5 ft..
b. Side Setback	5 ft.. min.
c. Rear Setback	25 ft.. min.
d. Frontage Buildout	60% min. at setback
OUTBUILDING DISPOSITION	
a. Front Setback	N/A
b. Side Setback	0 ft.. min.
c. Rear Setback	3 ft.. max.
PRIVATE FRONTAGES (see Table 4)	
a. Common Lawn	permitted
b. Porch & Fence	permitted
c. Terrace or L.C.	prohibited
d. Forecourt	prohibited
e. Stoop	permitted
f. Shopfront & Awning	prohibited
g. Gallery	prohibited
h. Arcade	prohibited

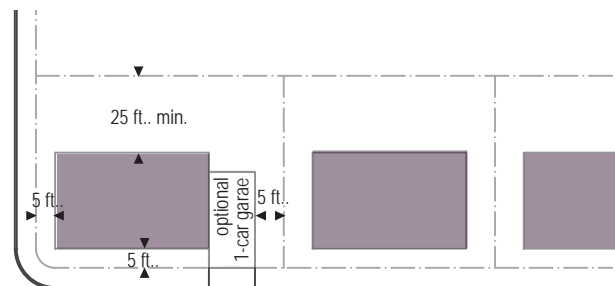
BUILDING HEIGHT

1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft.. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



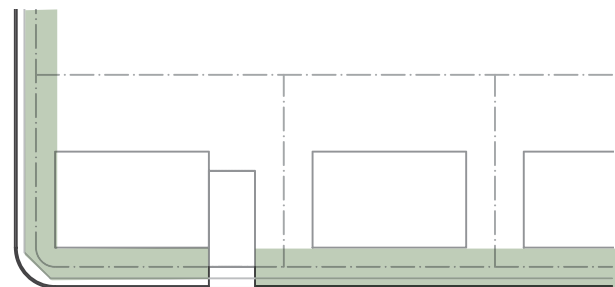
BUILDING DISPOSITION

1. The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
2. Buildings shall have facades along principal frontage lines and elevations along lot lines.
3. If a garage is situated at the frontage, a setback of 0 ft.. is required.



ENCROACHMENT ZONE

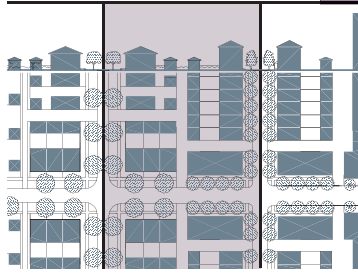
1. Stoops, bay windows, open porches and balconies may be located within the setbacks as shown in the diagram.
2. Utility connections, A/C units or dryer vents shall only be located on elevations within the alley or between houses.



SECTION 1.4.11

T4

T4 SMALL HOUSE

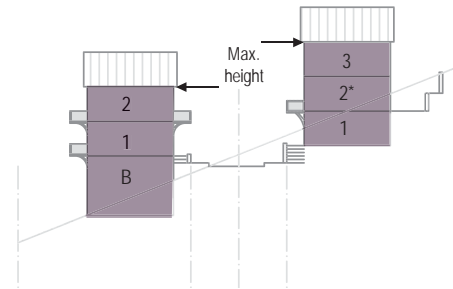


(see Table 1)

BUILDING FUNCTION (see Table 7)	
a. Residential	open use
b. Lodging	open use
c. Office	limited use
d. Retail	prohibited
BUILDING HEIGHT (see Table 5)	
a. Principal Building	3 stories max. 2 min.
b. Outbuilding	2 stories max.
c. First floor above grade	18" min.
LOT OCCUPATION	
a. Lot Width	35'-50'
b. Lot Coverage	70% max
BUILDING TYPE (see Table 6)	
a. Edgeyard	permitted
b. Sideyard	permitted
c. Rearyard	permitted
d. Courtyard	prohibited
BUILDING DISPOSITION	
a. Front Setback	5 ft..
b. Side Setback	5 ft.. min.
c. Rear Setback	25 ft.. min.
d. Frontage Buildout	60% min. at setback
OUTBUILDING DISPOSITION	
a. Front Setback	N/A
b. Side Setback	0 ft.. min.
c. Rear Setback	3 ft.. max.
PRIVATE FRONTAGES (see Table 4)	
a. Common Lawn	permitted
b. Porch & Fence	permitted
c. Terrace or L.C.	permitted
d. Forecourt	prohibited
e. Stoop	permitted
f. Shopfront & Awning	prohibited
g. Gallery	prohibited
h. Arcade	prohibited

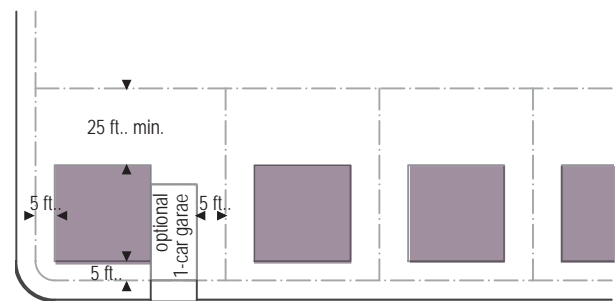
BUILDING HEIGHT

1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft.. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



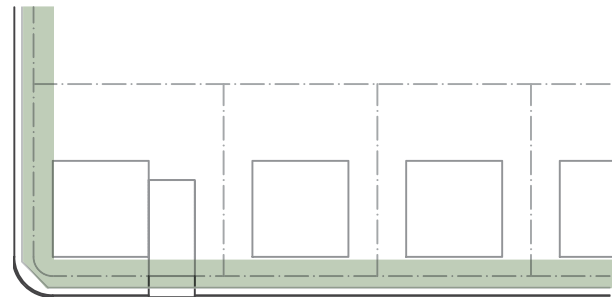
BUILDING DISPOSITION

1. The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
2. Buildings shall have facades along principal frontage lines and elevations along lot lines.
3. If a garage is situated at the frontage, a setback of 0 ft.. is required.



ENCROACHMENT ZONE

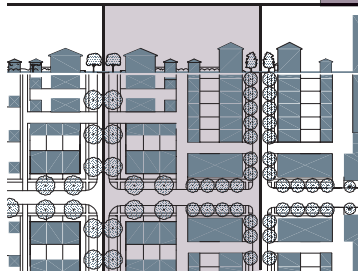
1. Stoops, bay windows, open porches and balconies may be located within the setbacks as shown in the diagram.
2. Utility connections, A/C units or dryer vents shall only be located on elevations within the alley or between houses.



SECTION 1.4.11

T4

T4 TERRACE COTTAGE



(see Table 1)

BUILDING FUNCTION (see Table 7)

a. Residential	open use
b. Lodging	open use
c. Office	limited use
d. Retail	prohibited

BUILDING HEIGHT (see Table 5)

a. Principal Building	3 stories max, 2 min.
b. Outbuilding	2 stories max.

LOT OCCUPATION

a. Lot Width	30'
b. Lot Coverage	60% min.

BUILDING TYPE (see Table 6)

a. Edgeyard	permitted
b. Sideyard	permitted
c. Rearyard	permitted
d. Courtyard	prohibited

BUILDING DISPOSITION

a. Front Setback	5 ft..
b. Side Setback	6 ft..
c. Rear Setback	3 ft.. min.
d. Frontage Buildout	60% min.

OUTBUILDING DISPOSITION

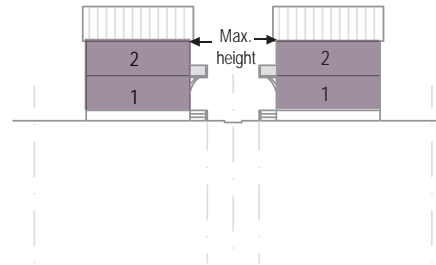
a. Front Setback	N/A
b. Side Setback	0 ft.. min. or 3 ft..
c. Rear Setback	3 ft.. or 23 ft..

PRIVATE FRONTAGES (see Table 4)

a. Common Lawn	prohibited
b. Porch & Fence	permitted
c. Terrace or L.C.	permitted
d. Forecourt	prohibited
e. Stoop	permitted
f. Shopfront & Awning	prohibited
g. Gallery	prohibited
h. Arcade	prohibited

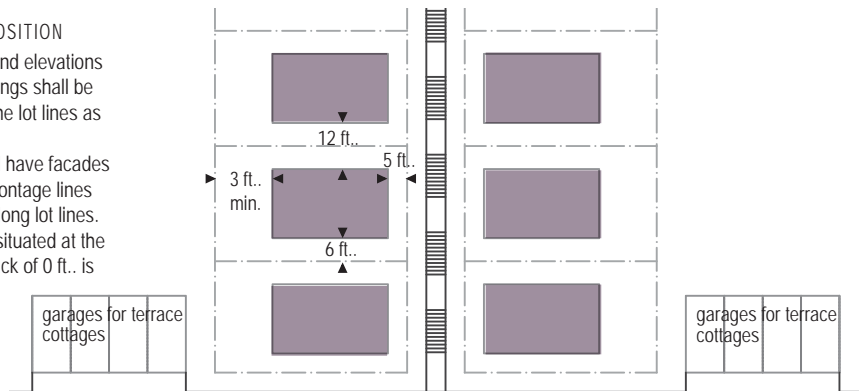
BUILDING HEIGHT

1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft.. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



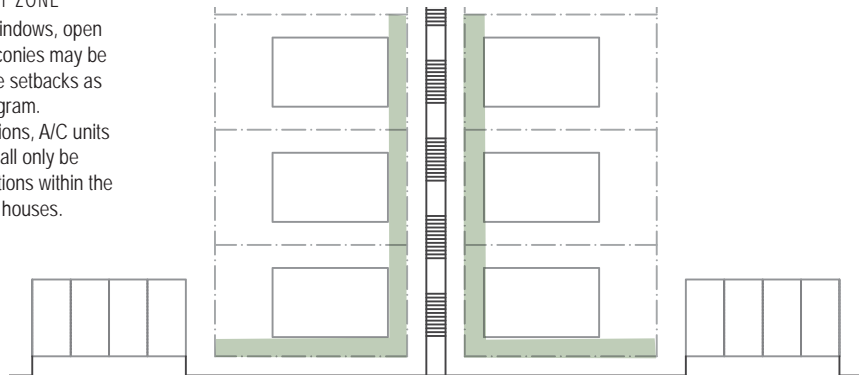
BUILDING DISPOSITION

1. The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
2. Buildings shall have facades along principal frontage lines and elevations along lot lines.
3. If a garage is situated at the frontage, a setback of 0 ft.. is required.



ENCROACHMENT ZONE

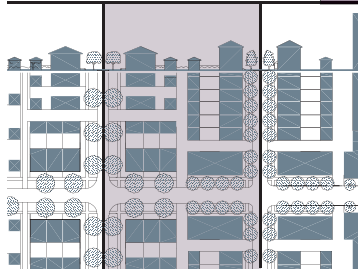
1. Stoops, bay windows, open porches and balconies may be located within the setbacks as shown in the diagram.
2. Utility connections, A/C units or dryer vents shall only be located on elevations within the alley or between houses.



SECTION 1.4.11

T4

T4 LIVE/WORK

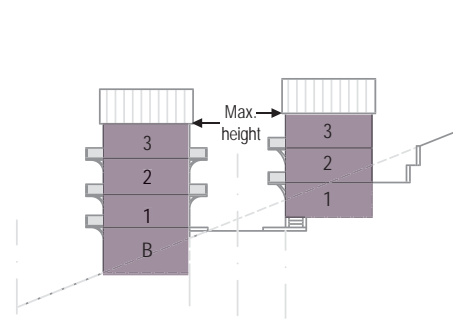


(see Table 1)

BUILDING FUNCTION (see Table 7)	
a. Residential	open use
b. Lodging	open use
c. Office	open use
d. Retail	open use
BUILDING HEIGHT (see Table 5)	
a. Principal Building	3 stories max. 2 min.
b. Backbuilding	2 stories max.
c. First floor above grade	0' required.
LOT OCCUPATION	
a. Lot Width	18 ft. min.; 180 ft.
b. Lot Coverage	100% max
BUILDING TYPE (see Table 6)	
a. Edgeyard	prohibited
b. Sideyard	prohibited
c. Rearyard	permitted
d. Courtyard	permitted
BUILDING DISPOSITION	
a. Front Setback	5 ft..
b. Side Setback	0 ft.. min. or 5 ft.. min.
c. Rear Setback	0 ft.. min.
d. Frontage Buildout	100% min. at setback
OUTBUILDING DISPOSITION	
a. Front Setback	N/A
b. Side Setback	0 ft.. min.
c. Rear Setback	3 ft.. max.
PRIVATE FRONTAGES (see Table 4)	
a. Common Lawn	prohibited
b. Porch & Fence	prohibited
c. Terrace or L.C.	permitted
d. Forecourt	permitted
e. Stoop	permitted
f. Shopfront & Awning	permitted
g. Gallery	permitted
h. Arcade	permitted

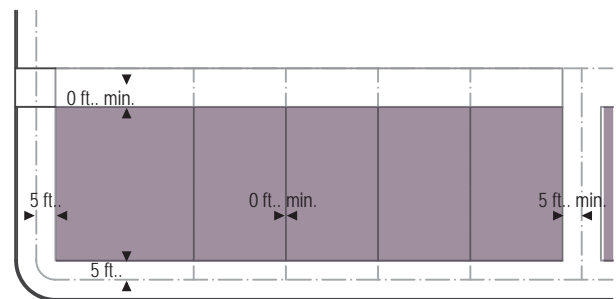
BUILDING HEIGHT

1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft.. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



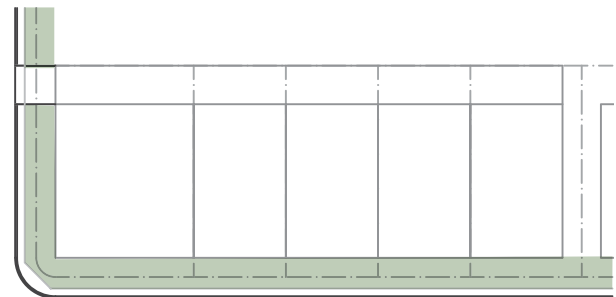
BUILDING DISPOSITION

1. The facades and elevations of principal buildings shall be distanced from the lot lines as shown.
2. Buildings shall have facades along principal frontage lines and elevations along lot lines.
3. If a garage is situated at the frontage, a setback of 0 ft.. is required.



ENCROACHMENT ZONE

1. Stoops, bay windows, open porches and balconies may be located within the setbacks as shown in the diagram.
2. Utility connections, A/C units or dryer vents shall only be located on elevations within the alley or between houses.



1.5 **SPECIFIC TO URBAN CENTER TRANSECT ZONES (T5)**

1.5.1 **Building Disposition (T5)**

- a. Buildings shall be disposed in relation to the boundaries of their lots according to [Section 1.5.11]
- b. One principal building at the Frontage, and one outbuilding to the rear of the principal building, may be built on each lot as shown in [Section 1.5.11]
- c. Lot coverage by building shall not exceed that shown in [Section 1.5.11].
- d. Facades shall be built parallel to the Principal Frontage Line along a minimum of 100% of its length on the Setback shown in [Section 1.5.11].
- e. Setbacks for Principal Buildings shall be as shown in [Section 1.5.11]. Setbacks may otherwise be adjusted by Variance.
- f. Rear Setbacks for Outbuildings shall be a minimum of 12 feet measured from the centerline of the Alley or Rear Lane easement. In the absence of Rear Alley or Lane, the rear Setback shall be as shown in [Section 1.5.11].
- g. Building Types shall be as shown in [Table 6] or the Regulating Plan.
- h. Buildings shall have their principal pedestrian entrances on a Frontage Line.

1.5.2 **Building Configuration (T5)**

- a. Private Frontage types shall conform to and be allocated in accordance with [Table 3] and [Section 1.5.11].
- b. Loading docks and service areas shall be permitted on Frontages only by Variance.
- c. Building Heights shall conform to [Table 5] and be as shown in [Section 1.5.11].
- d. A first level Residential or Lodging Function shall be raised a minimum of 2 feet from average sidewalk grade.

1.5.3 **Building Function & Density (T5)**

- a. Buildings shall conform to the Functions described in [Tables 7] and [Section 1.5.11]. Functions that do not conform to the requirements of [Tables 7] shall require approval by Waiver.
- b. Accessory uses of Limited Lodging or Limited Office shall be permitted within an outbuilding.
- c. First story Commercial shall be permitted throughout and shall be required at Mandatory Shopfront Frontages.
- d. Manufacturing within the first Story may be permitted by Variance.

1.5.4 **Parking Standards (T5)**

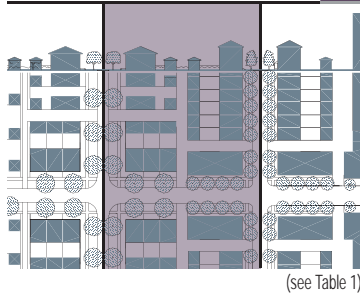
- a. Vehicular parking shall be required as shown on the Regulating Plan.
- b. Parking shall be accessed by the Alley or Rear Lane when such is available in the Regulating Plan.
- c. Parking lots shall be masked from the Frontage by a Liner Building or Streetscreen.
- d. Parking may be provided within one-quarter mile of the site that it serves, subject to approval by Variance.
- e. The vehicular entrance of a parking lot or garage on a Frontage shall be no wider than 18 feet.
- f. Pedestrian entrances to all parking lots and parking structures shall be directly from a Frontage Line. Only underground parking structures may be entered by pedestrians directly from a Principal Building.

- 1.5.5 **Urban Standards (T3)**
[SEE APPENDIX B]
- 1.5.6 **Architectural Standards (T3)**
[SEE APPENDIX C]
- 1.5.7 **Signage Standards (T3)**
[See Appendix C]
- 1.5.8 **Environmental Standards (T3)**
[SEE APPENDIX D]
- 1.5.9 **Landscape Standards (T3)**
[SEE APPENDIX D]
- 1.5.10 **Ambient Standards (T5)**
 - a. Sound levels measured at the building Frontage shall not exceed 70 decibels from sunrise to midnight and 60 decibels from midnight to sunrise.
 - b. Average lighting levels measured at the building Frontage shall not exceed 5.0 fc (foot-candles).
 - c. Streetlights shall be designed in accordance with the character of the Transect Zone in which they appear.
 - d. Outdoor storage shall be screened from view from any Frontage by a Streetscreen.

SECTION 1.5.11

T5

T5 TOWNHOUSE



(see Table 1)

BUILDING FUNCTION (see Table 7)

a. Residential	open use
b. Lodging	open use
c. Office	open use
d. Retail	open use

BUILDING HEIGHT (see Table 5)

a. Principal Building	4 stories max. 2 min.
b. Outbuilding	2 stories max.
c. First floor above grade	18" min.

LOT OCCUPATION

a. Lot Width	18 ft. min. 36 ft. max
b. Lot Coverage	100% max

BUILDING TYPE (see Table 6)

a. Edgeyard	prohibited
b. Sideyard	prohibited
c. Rearyard	permitted
d. Courtyard	permitted

BUILDING DISPOSITION

a. Front Setback	0 ft.
b. Side Setback	0 ft. min. 5 ft. max.
c. Rear Setback	0 ft. min.
d. Frontage Buildout	100% min. at setback

OUTBUILDING DISPOSITION

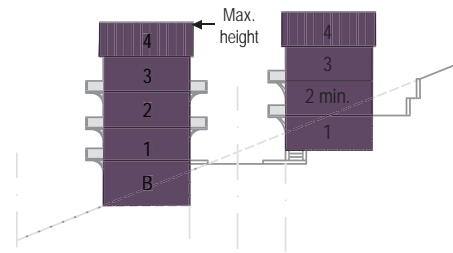
a. Front Setback	40 ft. max. from rear prop.
b. Side Setback	0 ft. min.
c. Rear Setback	3 ft. max.

PRIVATE FRONTAGES (see Table 4)

a. Common Lawn	prohibited
b. Porch & Fence	prohibited
c. Terrace or L.C.	permitted
d. Forecourt	permitted
e. Stoop	permitted
f. Shopfront & Awning	prohibited
g. Gallery	prohibited
h. Arcade	prohibited

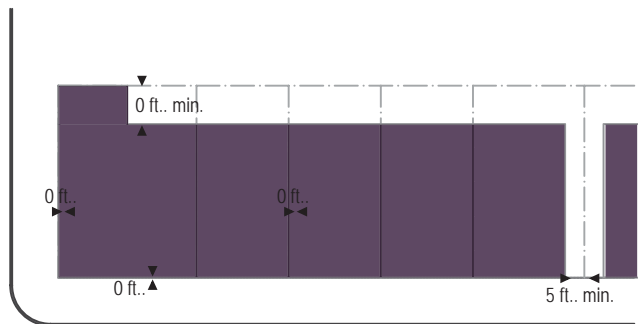
BUILDING HEIGHT

1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



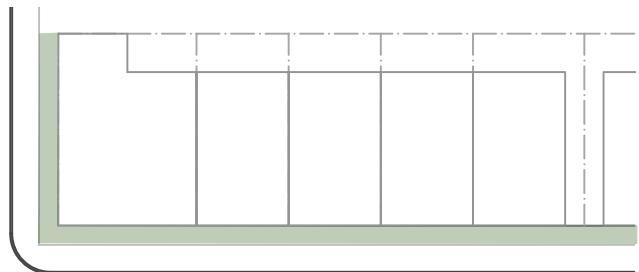
BUILDING DISPOSITION

1. The facades and elevations of a building shall be distanced from the frontage and lot lines as shown.
2. Buildings shall have facades along the principal frontage lines and elevations along lot lines.



ENCROACHMENT ZONE

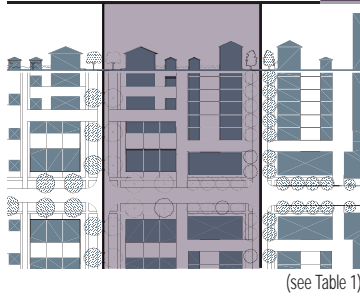
1. Stoops, bay windows, open porches and balconies may be located within the setbacks as shown in the diagram.
2. Utility connections, A/C units or dryer vents shall only be located on elevations within the alley or between houses.



SECTION 1.5.11

T5

T5 LIVE/WORK



(see Table 1)

BUILDING FUNCTION (see Table 7)

a. Residential	open use
b. Lodging	open use
c. Office	open use
d. Retail	open use

BUILDING HEIGHT (see Table 5)

a. Principal Building	4* stories max. 2 min.
b. Backbuilding	2 stories max.
c. First floor above grade	0' required.

LOT OCCUPATION

a. Lot Width	18 ft.. min. 180 ft.
b. Lot Coverage	100% max

BUILDING TYPE (see Table 6)

a. Edgeyard	prohibited
b. Sideyard	prohibited
c. Rearyard	permitted
d. Courtyard	permitted

BUILDING DISPOSITION

a. Front Setback	0 ft..
b. Side Setback	0 ft.. or 5 ft.. min.
c. Rear Setback	0 ft.. min.
d. Frontage Buildout	100% min. at setback

OUTBUILDING DISPOSITION

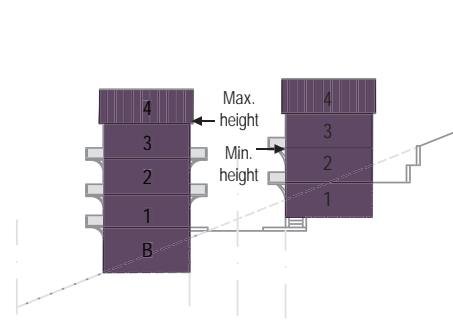
a. Front Setback	N/A
b. Side Setback	0 ft.. min.
c. Rear Setback	3 ft.. max.

PRIVATE FRONTAGES (see Table 4)

a. Common Lawn	prohibited
b. Porch & Fence	prohibited
c. Terrace or L.C.	permitted
d. Forecourt	permitted
e. Stoop	permitted
f. Shopfront & Awning	permitted
g. Gallery	permitted
h. Arcade	permitted

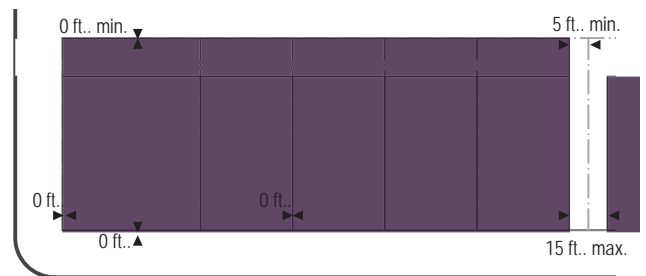
BUILDING HEIGHT

1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft.. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



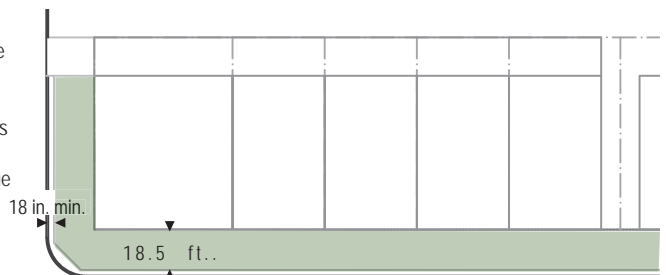
BUILDING DISPOSITION

1. The facades and elevations of a building shall be distanced from the frontage and lot lines as shown.
2. Buildings shall have facades along the principal frontage lines and elevations along lot lines.



ENCROACHMENT ZONE

1. Stoops, bay windows, open porches and balconies may be located within the setbacks as shown in the diagram.
2. Utility connections, A/C units or dryer vents shall only be located on elevations within the alley or between houses.
3. Arcades and galleries may extend across the sidewalk to within 18 in. of the curb.



BREAKAWAY VILLAGE SMARTCODE

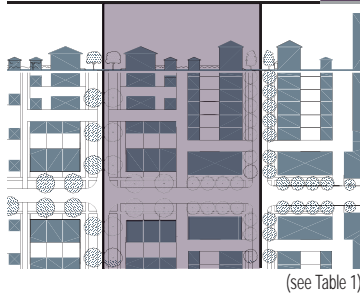
ARTICLE 1. BUILDING SCALE PLANS

WOLF LAUREL, NORTH CAROLINA

SECTION 1.5.11

T5

T5 LOFT/CONDO



BUILDING FUNCTION (see Table 7)

a. Residential	open use
b. Lodging	open use
c. Office	open use
d. Retail	open use

BUILDING HEIGHT (see Table 5)

a. Principal Building	6 stories max. 3 min.
b. Backbuilding	2 stories max.
c. First floor above grade	0 in. min.

LOT OCCUPATION

a. Lot Width	18 ft. min.; 180 ft.
b. Lot Coverage	100% max

BUILDING TYPE (see Table 6)

a. Edgeyard	prohibited
b. Sideyard	prohibited
c. Rearyard	permitted
d. Courtyard	permitted

BUILDING DISPOSITION

a. Front Setback	0 ft..
b. Side Setback	0 ft.. or 5 ft.. min.
c. Rear Setback	3 ft.. min.
d. Frontage Buildout	90% min. at setback

OUTBUILDING DISPOSITION

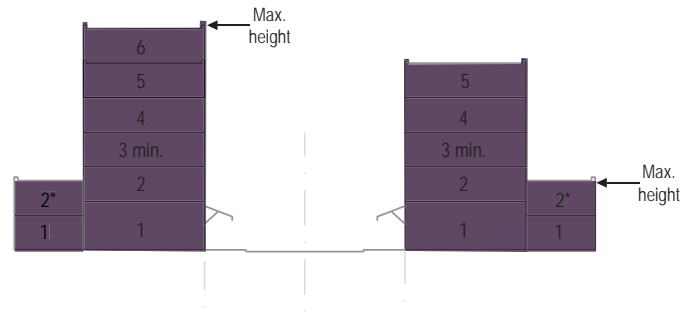
a. Front Setback	N/A
b. Side Setback	0 ft.. min.
c. Rear Setback	3 ft.. max.

PRIVATE FRONTAGES (see Table 4)

a. Common Lawn	prohibited
b. Porch & Fence	prohibited
c. Terrace or L.C.	permitted
d. Forecourt	permitted
e. Stoop	permitted
f. Shopfront & Awning	permitted
g. Gallery	permitted
h. Arcade	permitted

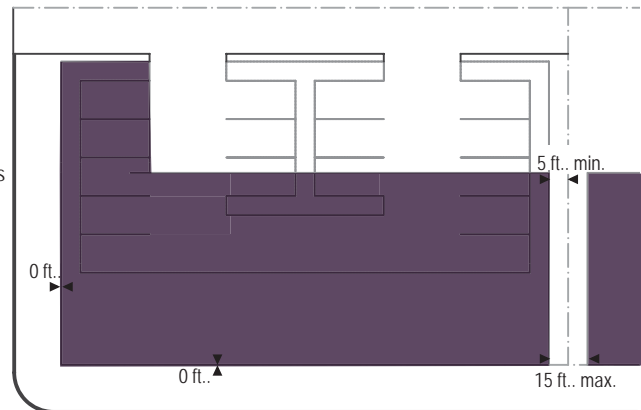
BUILDING HEIGHT

1. Building height shall be measured in number of stories, excluding a raised basement, or inhabited attic.
2. Each story shall not exceed 14 ft.. clear, floor to ceiling.
3. Maximum height shall be measured to the eave or roof deck.



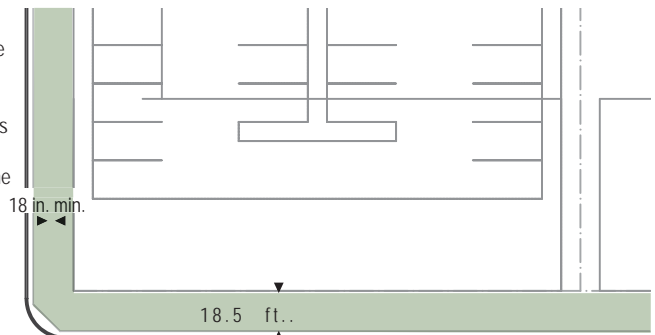
BUILDING DISPOSITION

1. The facades and elevations of a building shall be distanced from the frontage and lot lines as shown.
2. Buildings shall have facades along the principal frontage lines and elevations along lot lines.



ENCROACHMENT ZONE

1. Stoops, bay windows, open porches and balconies may be located within the setbacks as shown in the diagram.
2. Utility connections, A/C units or dryer vents shall only be located on elevations within the alley or between houses.





BREAKAWAY

A NEW MOUNTAIN VILLAGE

ARTICLE 2

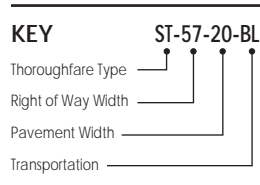
STANDARDS & TABLES

TABLE 1: Transect Zone Descriptions. This table provides description of the character of each Transect Zone.

<p>T1 THE NATURAL ZONE consists of lands approximating or reverting to a wilderness condition, including lands unsuitable for settlement due to topography, hydrology or vegetation.</p>	
<p>T2 THE RURAL ZONE consists of lands in open or cultivated state or sparsely settled. These include woodland, agricultural lands, grasslands and irrigable deserts.</p>	
<p>T3 THE SUB-URBAN ZONE, consists of low density suburban residential areas, differing by allowing home occupations. Planting is naturalistic with setbacks relatively deep. Blocks may be large and the roads irregular to accommodate natural conditions.</p>	
<p>T4 THE GENERAL URBAN ZONE consists of a mixed-use but primarily residential urban fabric. It has a wide range of building types: single, sideyard, and rowhouses. Setbacks and landscaping are variable. Streets typically define medium-sized blocks.</p>	
<p>T5 THE URBAN CENTER ZONE consists of higher density mixed-use building types that accommodate retail, offices, rowhouses and apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the frontages.</p>	
<p>T6 THE URBAN CORE ZONE consists of the highest density, with the greatest variety of uses, and civic buildings of regional importance. It may have larger blocks; streets have steady street tree planting and buildings set close to the frontages.</p>	

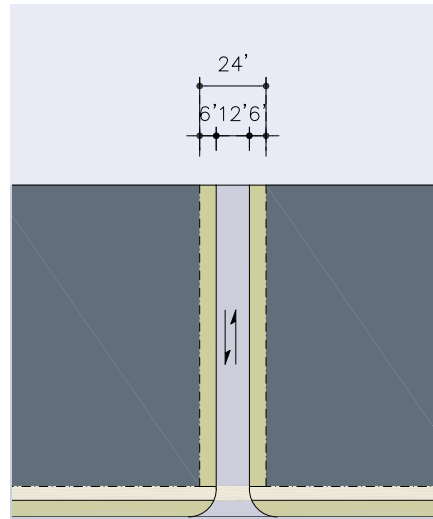
Credit: Duany Plater-Zyberk & Co.

Thoroughfare Assemblies. These thoroughfares are assembled from the elements that appear in Tables 3A and 3B and incorporate the Public Frontages of Table 4. The key gives the thoroughfare type followed by the right-of-way width, followed by the pavement width, and in some instances followed by specialized transportation capability.

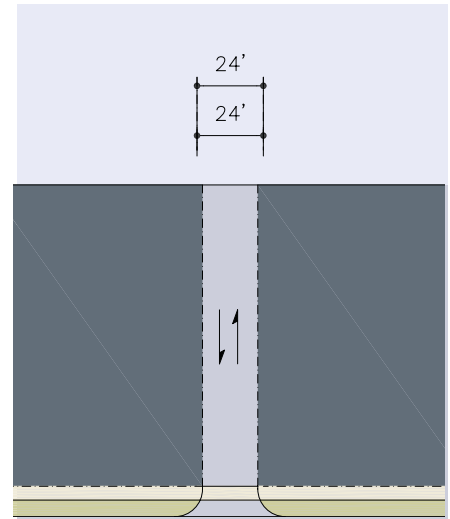


THOROUGHFARE TYPES

- Boulevard: BV
- Avenue: AV
- Commercial Street: CS
- Street: ST
- Road: RD
- Rear Alley: RA
- Rear Lane: RL
- Bicycle Trail: BT
- Bicycle Lane: BL
- Bicycle Route: BR
- Path: PT
- Transit Route: TR



RL-24-12



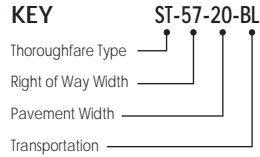
RA-24-24

Thoroughfare Type	
Transect Zone Assignment	
Right-of-Way Width	
Pavement Width	
Movement	
Design Speed	
Pedestrian Crossing Time	
Traffic Lanes	
Parking Lanes	
Curb Radius	
Public Frontage Type	
Walkway Type	
Planter Type	
Curb Type	
Landscape Type	
Transportation Provision	

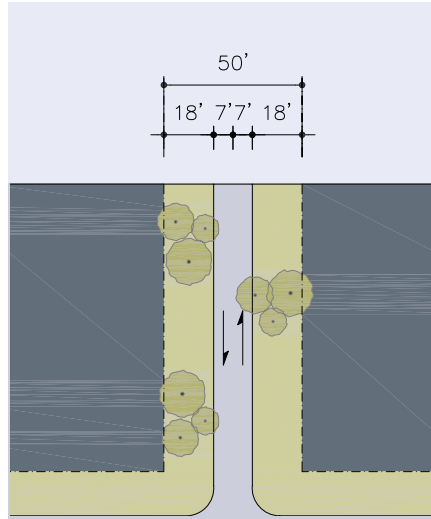
Rear Lane
T3
24 feet
12 feet
Yield Movement
10 MPH
3.5 seconds
2 lanes
None
25 feet
None
6 feet Sidewalk
None
Inverted Crown
Trees at 30' o.c. Avg.
None

Rear Alley
T6, T5, T4
24 feet
24 feet
Slow Movement
10 MPH
6.5 seconds
2 lanes
None
25 feet
None
None
Inverted Crown
Trees at 30' o.c. Avg.
None

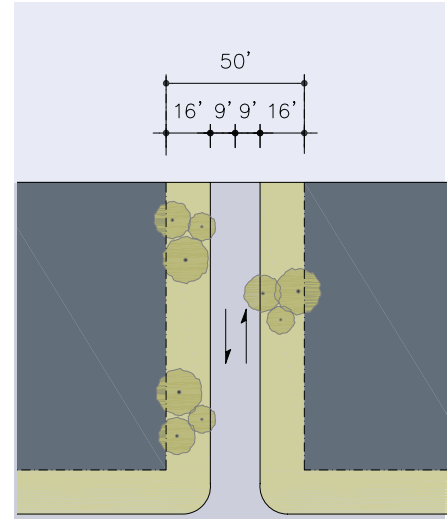
Credit: Duany Plater-Zyberk & Co. - Customized: Town Planning & Urban Design Collaborative



- THOROUGHFARE TYPES**
- Boulevard: BV
 - Avenue: AV
 - Commercial Street: CS
 - Street: ST
 - Road: RD
 - Rear Alley: RA
 - Rear Lane: RL
 - Bicycle Trail: BT
 - Bicycle Lane: BL
 - Bicycle Route: BR
 - Path: PT
 - Transit Route: TR



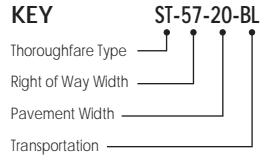
RD-50-14



RD-50-18

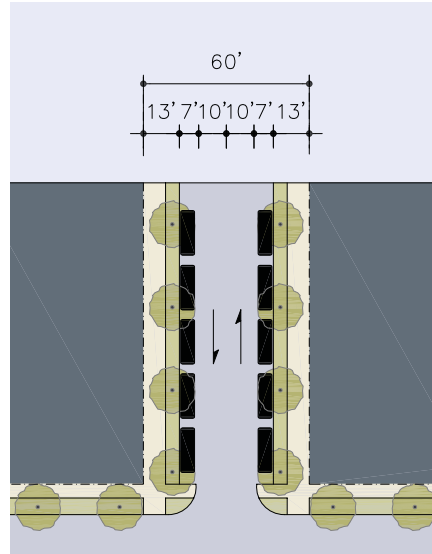
Thoroughfare Type	Road	Road
Transect Zone Assignment	T3, T2, T1	T3, T2, T1
Right-of-Way Width	50 feet	50 feet
Pavement Width	14 feet	18 feet
Movement	Yield Movement	Slow Movement
Design Speed	15 MPH	15 MPH
Pedestrian Crossing Time	4 seconds	5 seconds
Traffic Lanes	2 lanes	2 lanes
Parking Lanes	None	None
Curb Radius	25 feet	25 feet
Public Frontage Type	Porch and Fence, Common Lawn	Porch and Fence, Common Lawn
Walkway Type	Path optional	Path optional
Planter Type	Continuous swale	Continuous swale
Curb Type	Swale *	Swale *
Landscape Type	Trees clustered at 30' o.c. Avg.	Trees clustered at 30' o.c. Avg.
Transportation Provision	BT	BT

Credit: Duany Plater-Zyberk & Co. - Customized: Town Planning & Urban Design Collaborative

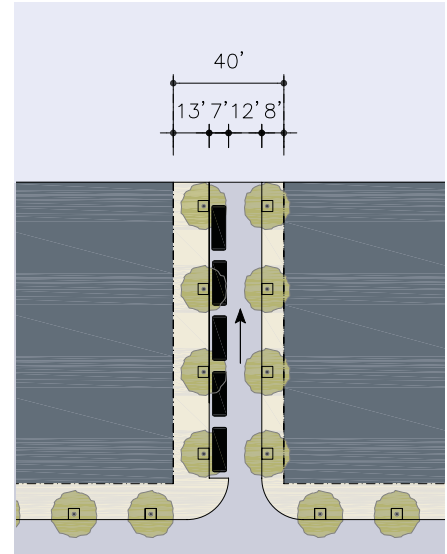


THOROUGHFARE TYPES

- Boulevard: BV
- Avenue: AV
- Commercial Street: CS
- Street: ST
- Road: RD
- Rear Alley: RA
- Rear Lane: RL
- Bicycle Trail: BT
- Bicycle Lane: BL
- Bicycle Route: BR
- Path: PT
- Transit Route: TR



ST-60-34

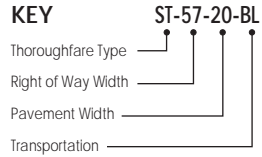


ST-40-19

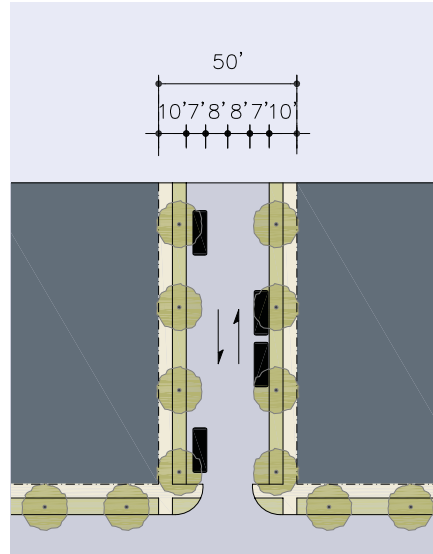
Thoroughfare Type	Street
Transect Zone Assignment	T5, T4, T3
Right-of-Way Width	60 feet
Pavement Width	34 feet
Movement	Slow Movement
Design Speed	20 MPH
Pedestrian Crossing Time	5.5 seconds
Traffic Lanes	2 lanes
Parking Lanes	Both Sides @ 7 feet marked
Curb Radius	15 feet
Public Frontage Type	ST, FC, DY/LC, PF
Walkway Type	6 foot Sidewalk
Planter Type	7 foot Continuous planter
Curb Type	Curb or Swale *
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	BR

Thoroughfare Type	Street
Transect Zone Assignment	T6, T5
Right-of-Way Width	40 feet
Pavement Width	19 feet
Movement	Yield Movement
Design Speed	25 MPH
Pedestrian Crossing Time	3.5 seconds
Traffic Lanes	1 lane
Parking Lanes	One Side @ 7 feet marked
Curb Radius	15 feet
Public Frontage Type	A/G, SF/AW, ST, DY/LC
Walkway Type	13 foot Sidewalk
Planter Type	4x4" Tree well
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

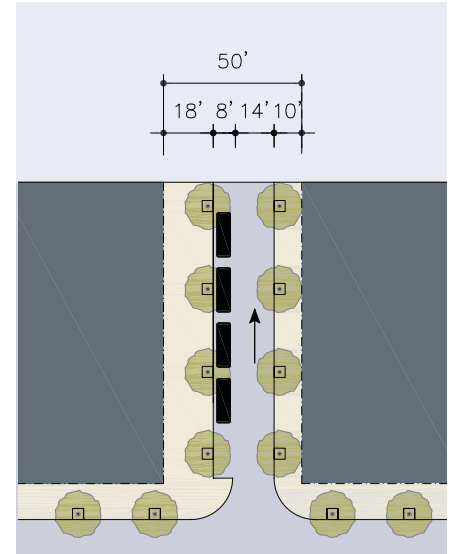
Credit: Duany Plater-Zyberk & Co. - Customized: Town Planning & Urban Design Collaborative



- THOROUGHFARE TYPES**
- Boulevard: BV
 - Avenue: AV
 - Commercial Street: CS
 - Street: ST
 - Road: RD
 - Rear Alley: RA
 - Rear Lane: RL
 - Bicycle Trail: BT
 - Bicycle Lane: BL
 - Bicycle Route: BR
 - Path: PT
 - Transit Route: TR



ST-50-30

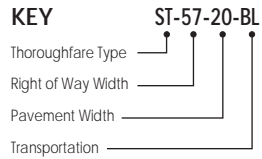


CS-50-22

Thoroughfare Type	Street
Transect Zone Assignment	T4, T3
Right-of-Way Width	50 feet
Pavement Width	30 feet
Movement	Yield Movement
Design Speed	25 MPH
Pedestrian Crossing Time	4.5 seconds
Traffic Lanes	2 lanes
Parking Lanes	Both Sides @ 7 feet unmarked
Curb Radius	15 feet
Public Frontage Type	ST, FC, DY/LC
Walkway Type	5 foot Sidewalk
Planter Type	5 foot Continuous planter
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

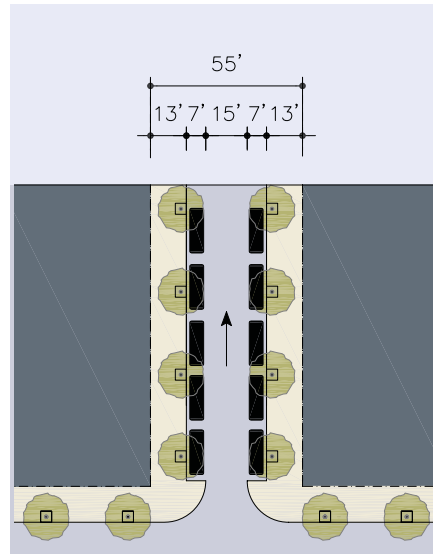
Thoroughfare Type	Commercial Street
Transect Zone Assignment	T5
Right-of-Way Width	50 feet
Pavement Width	22 feet
Movement	Slow Movement
Design Speed	25 MPH
Pedestrian Crossing Time	4 seconds
Traffic Lanes	1 lane
Parking Lanes	One Side @ 7 feet marked
Curb Radius	15 feet
Public Frontage Type	Gallery/Arcade, Shopfront/Awning, Stoop, DY/LC
Walkway Type	18 foot Sidewalk
Planter Type	4x4" Tree well
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

Credit: Duany Plater-Zyberk & Co. - Customized: Town Planning & Urban Design Collaborative

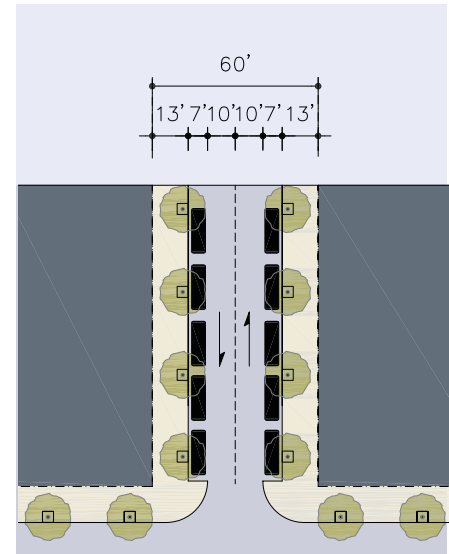


THOROUGHFARE TYPES

- Boulevard: BV
- Avenue: AV
- Commercial Street: CS
- Street: ST
- Road: RD
- Rear Alley: RA
- Rear Lane: RL
- Bicycle Trail: BT
- Bicycle Lane: BL
- Bicycle Route: BR
- Path: PT
- Transit Route: TR



CS-55-29

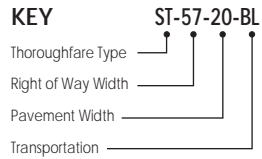


CS-60-34

Thoroughfare Type	Commercial Street
Transect Zone Assignment	T5
Right-of-Way Width	55 feet
Pavement Width	29 feet
Movement	Slow Movement
Design Speed	25 MPH
Pedestrian Crossing Time	4 seconds
Traffic Lanes	1 lane
Parking Lanes	Both Sides @ 7 feet marked
Curb Radius	15 feet
Public Frontage Type	Gallery/Arcade, Shopfront/Awning, Stoop, DY/LC
Walkway Type	13 foot Sidewalk
Planter Type	4x4" Tree well
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

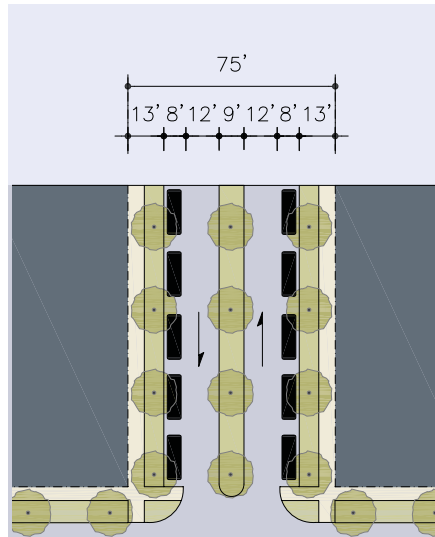
Thoroughfare Type	Commercial Street
Transect Zone Assignment	T6, T5
Right-of-Way Width	60 feet
Pavement Width	34 feet
Movement	Slow Movement
Design Speed	25 MPH
Pedestrian Crossing Time	10 seconds
Traffic Lanes	2 lanes
Parking Lanes	Both Sides @ 7 feet marked
Curb Radius	15 feet
Public Frontage Type	Gallery/Arcade, Shopfront/Awning
Walkway Type	13 foot Sidewalk
Planter Type	4x4" Tree well
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

Credit: Duany Plater-Zyberk & Co. - Customized: Town Planning & Urban Design Collaborative



THOROUGHFARE TYPES

- Boulevard: BV
- Avenue: AV
- Commercial Street: CS
- Street: ST
- Road: RD
- Rear Alley: RA
- Rear Lane: RL
- Bicycle Trail: BT
- Bicycle Lane: BL
- Bicycle Route: BR
- Path: PT
- Transit Route: TR

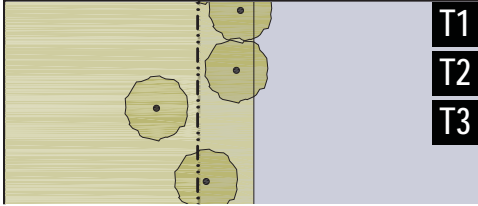

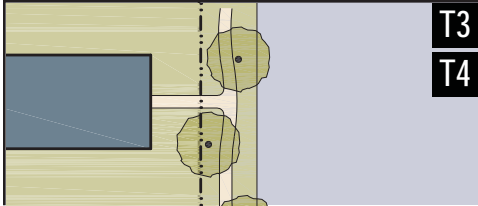
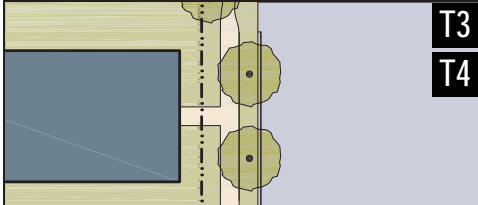
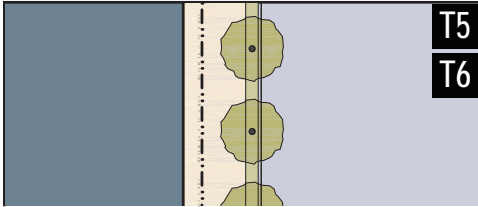
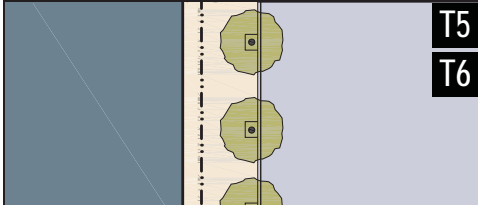
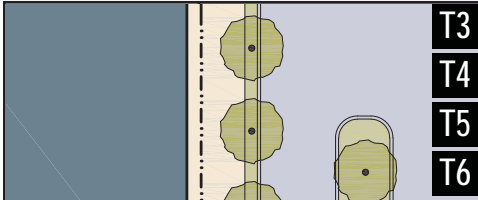


AV-75-40

Thoroughfare Type	Avenue
Transect Zone Assignment	T5, T4, T3
Right-of-Way Width	75 feet
Pavement Width	40 feet
Movement	Slow Movement
Design Speed	25 MPH
Pedestrian Crossing Time	13 seconds
Traffic Lanes	2 lanes
Parking Lanes	Both Sides @ 8 feet marked
Curb Radius	10 feet
Public Frontage Type	A/G, S/A, ST, FC, DY/LC
Walkway Type	6 foot Sidewalk
Planter Type	7 foot Continuous planter
Curb Type	Curb or Swale *
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	BR, TR

Credit: Duany Plater-Zyberk & Co. - Customized: Town Planning & Urban Design Collaborative

Public Frontages - General The Public Frontage is the area between the private lot line and the edge of the vehicular lanes. Dimensions are given in Table 4B (Public Frontages - Specific)

		PLAN			
		LOT	R.O.W.		
		PRIVATE FRONTAGE ▶	◀ PUBLIC FRONTAGE		
<p>a. (HW) For Highways: This frontage has open swales drained by percolation, bicycle trails and no parking. The landscaping consists of the natural condition or multiple species arrayed in naturalistic clusters. Buildings are buffered by distance or berms.</p>		<p>T1 T2 T3</p>			
<p>b. (RR) For Rural Roads: This frontage has open swales drained by percolation, without parking. The landscaping consists of multiple tree and shrub species arrayed in naturalistic clusters</p>		<p>T1 T2 T3</p>			
<p>c. (SR) For Standard Roads: This frontage has open swales drained by percolation and a walking path or bicycle trail along one or both sides and yield parking. The landscaping consists of multiple species arrayed in naturalistic clusters.</p>		<p>T3 T4</p>			
<p>d. (RS) For Residential Street: This frontage has raised curbs drained by inlets and narrow sidewalks separated from the vehicular lanes by a wide continuous planter, with parking on one or both sides. The landscaping consists of street trees of a single or alternating species aligned in a regularly spaced alley.</p>		<p>T3 T4</p>			
<p>e. (SS) (AV) For Standard Streets or Avenues: This frontage has raised curbs drained by inlets and wide sidewalks separated from the vehicular lanes by a narrow continuous planter with parking on both sides. The landscaping consists of a single tree species aligned in a regularly spaced alley.</p>		<p>T5 T6</p>			
<p>f. (CS) (AV) For Commercial Streets or Avenues: This frontage has raised curbs drained by inlets and very wide sidewalks along both sides separated from the vehicular lanes by separate tree wells with grates and parking on both sides. The landscaping consists of a single tree species aligned with regular spacing where possible but clears the shopfront entrances.</p>		<p>T5 T6</p>			
<p>g. (BV) For Boulevards: This frontage has slip roads on both sides. It consists of raised curbs drained by inlets and sidewalks along both sides, separated from the vehicular lanes by planters. The landscaping consists of double rows of a single tree species aligned in a regularly spaced alley.</p>		<p>T3 T4 T5 T6</p>			

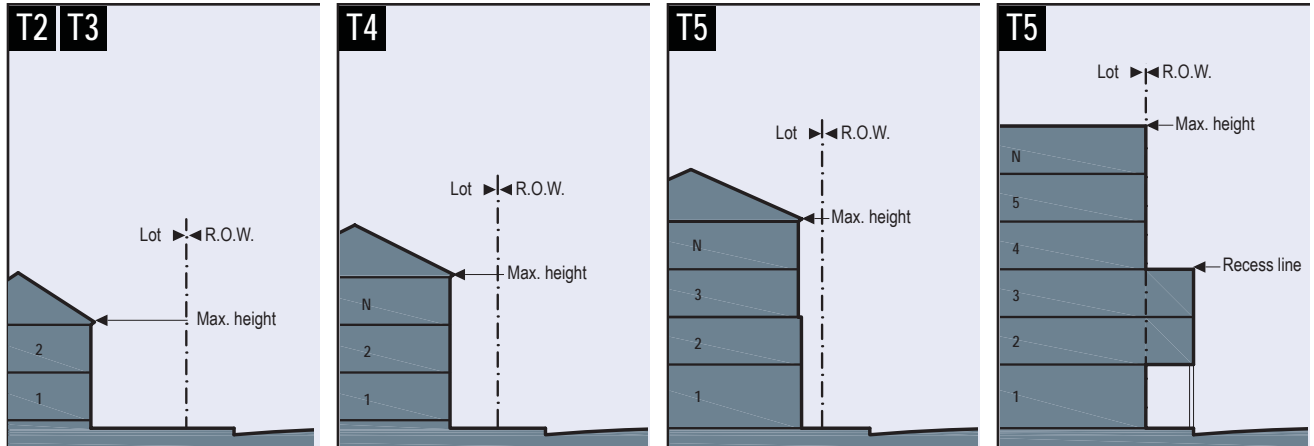
Credit: Duany Plater-Zyberk & Co.

Private Frontages. The Private Frontage is the area between the building and the lot lines.

	SECTION	PLAN
	LOT PRIVATE FRONTAGE ▶ R.O.W. ◀ PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE ▶ R.O.W. ◀ PUBLIC FRONTAGE
<p>a. Common Yard: a frontage wherein the facade is set back substantially from the frontage line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep setback provides a buffer from the higher speed thoroughfares.</p>		
<p>b. Porch & Fence: a frontage wherein the facade is set back from the frontage line with an attached porch permitted to encroaching. A fence at the frontage line maintains the demarcation of the yard. The porches shall be no less than 8 feet deep.</p>		
<p>c. Terrace or Light Court: a frontage wherein the facade is set back from the frontage line by an elevated terrace or a sunken light court. This type buffers residential use from urban sidewalks and removes the private yard from public encroachment. The terrace is suitable for conversion to outdoor cafes.</p>		
<p>d. Forecourt: a frontage wherein a portion of the facade is close to the frontage line and the central portion is set back. The forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other frontage types. Large trees within the forecourts may overhang the sidewalks.</p>		
<p>e. Stoop: a frontage wherein the facade is aligned close to the frontage line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor residential use.</p>		
<p>f. Shopfront and Awning: a frontage wherein the facade is aligned close to the frontage line with the building entrance at sidewalk grade. This type is conventional for retail use. It has a substantial glazing on the sidewalk level and an awning that may overlap the sidewalk to the maximum extent possible.</p>		
<p>g. Gallery: a frontage wherein the facade is aligned close to the frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the sidewalk. This type is conventional for retail use. The gallery shall be no less than 10 feet wide and may overlap the whole width of the sidewalk to within 2 feet of the curb.</p>		
<p>h. Arcade: a frontage wherein the facade is a colonnade that overlaps the sidewalk, while the facade at sidewalk level remains at the frontage line. This type is conventional for retail use. The arcade shall be no less than 12 feet wide and may overlap the whole width of the sidewalk to within 2 feet of the curb.</p>		

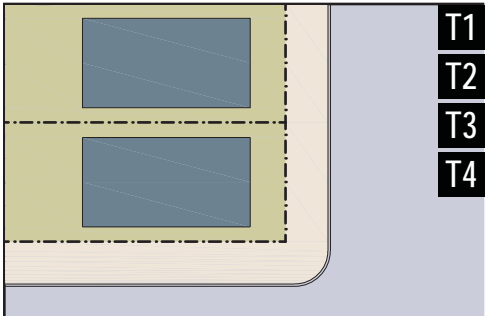
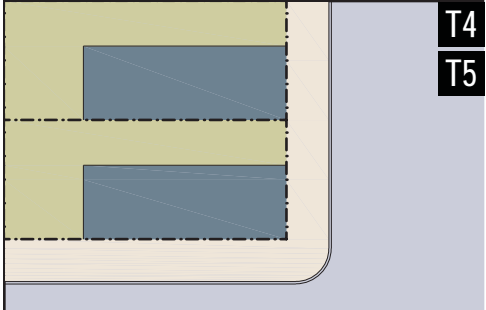
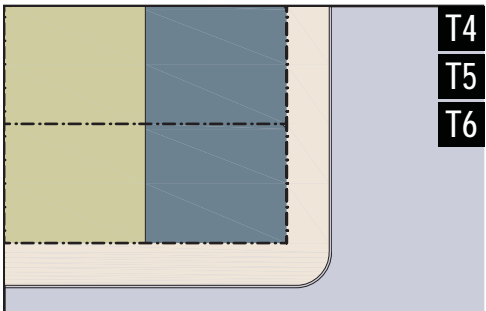
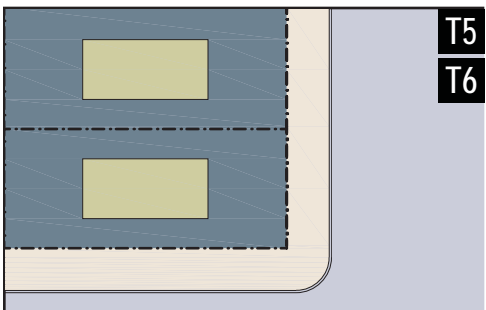
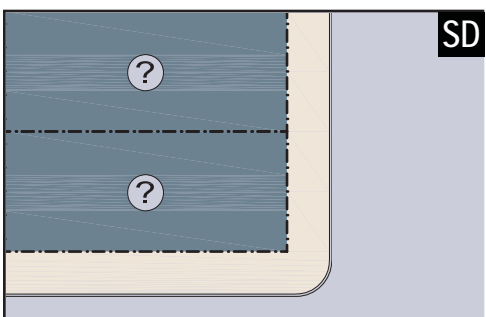
Credit: Duany Plater-Zyberk & Co.

Building Configuration. This table shows prescribed building heights for each Transect Zone. The vertical extent of a building is measured by number of stories, not including a raised basement or an inhabited attic. Heights are measured from the average grade of the frontage line to the eave of a pitched roof or to the surface of a flat roof. The term “tower” here refers to an attached or detached addition to a building, not to an entire building.



Credit: Duany Plater-Zyberk & Co.

Building Type. This table approximates the location of the structure relative to the boundaries of each individual lot, establishing suitable basic building types for each Transect Zone.

<p>a. Edgeyard: Specific Types - Single family House, Cottage, Villa, Estate House, Urban Villa. A building that occupies the center of its lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding.</p>	 <p>T1 T2 T3 T4</p>
<p>b. Sidyard: Specific Types - Charleston Single House, zero-lot-line house. A building that occupies one side of the lot with the Setback to the other side. The visual opening of the side yard on the street frontage causes this building type to appear freestanding. A shallow frontage Setback defines a more urban condition. If the adjacent building is similar with a blank party wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze.</p>	 <p>T4 T5</p>
<p>c. Rearyard: Specific Types - Townhouse, Rowhouse, Live-Work unit, perimeter block. A building that occupies the full frontage, leaving the rear of the lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the Rowhouse. For its Commercial form, the rear yard can accommodate substantial parking.</p>	 <p>T4 T5 T6</p>
<p>d. Courtyard: Specific Types - Patio House. A building that occupies the boundaries of its lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.</p>	 <p>T5 T6</p>
<p>e. Specialized: A building that is not subject to categorization. Buildings dedicated to manufacturing and transportation are often distorted by the trajectories of machinery. Civic buildings, which may express the aspirations of institutions, may be included.</p> <p>Credit: Duany Plater-Zyberk & Co.</p>	 <p>SD</p>

BREAKAWAY VILLAGE SMARTCODE
WOLF LAUREL, NORTH CAROLINA

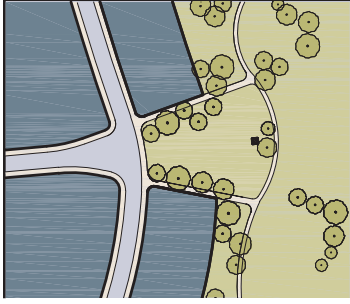

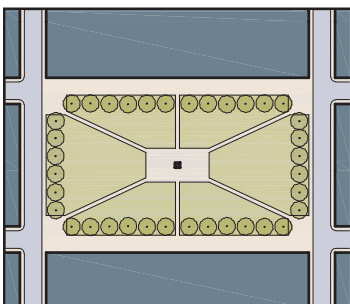
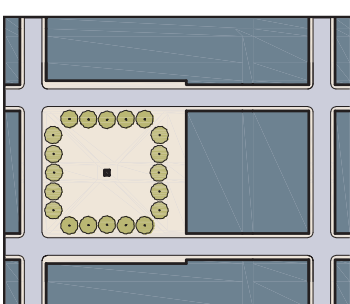
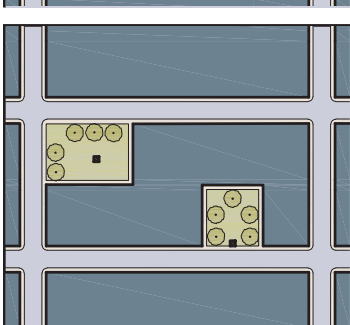
TABLE 7 BUILDING FUNCTION-SPECIFIC

Specific Function. This table expands the Building Function categories of Table 11 to delegate specific functions within Transect Zones. Table 10 should be customized for local character and requirements.

	T1	T2	T3	T4	T5	T6	SD
a. RESIDENTIAL							
Apartment Building				■	■	■	
Row House				■	■	■	
Duplex House				■	■		
Sideyard House			■	■	■		
Cottage			■	■			
House		■	■	■			
Hillside Villa House		■					
Accessory Unit		■	■	■	■		
Manufactured House			□				□
Temporary Tent	□	□	□	□	□	□	□
Live-Work Unit			■	■	■	■	□
b. LODGING							
Hotel (no room limit)					■	■	□
Inn (up to 12 rooms)		□		■	■	■	
Inn (up to 5 rooms)		□	■	■	■	■	
S.R.O. hostel			□	□	□	□	□
School Dormitory				■	■	■	■
c. OFFICE							
Office Building				■	■	■	□
Live-Work Unit			■	■	■	■	□
d. RETAIL							
Open-Market Building		■	■	■	■	■	■
Retail Building				■	■	■	□
Display Gallery				■	■	■	□
Restaurant				■	■	■	□
Kiosk				■	■	■	□
Push Cart					□	□	□
Liquor Selling Establishment					□	□	□
Adult Entertainment						□	□
e. CIVIC							
Bus Shelter			■	■	■	■	■
Convention Center						□	■
Conference Center					□	■	■
Exhibition Center						□	■
Fountain or Public Art	■	■	■	■	■	■	■
Library				■	■	■	■
Live Theater					■	■	■
Movie Theater					■	■	■
Museum					□	■	■
Outdoor Auditorium	□	■			■	■	■
Parking Structure					■	■	■
Passenger Terminal					□	□	■
Playground	■	■	■	■	■	■	■
Sports Stadium						□	■
Surface Parking Lot				□	□	□	■
Religious Assembly					■	■	■

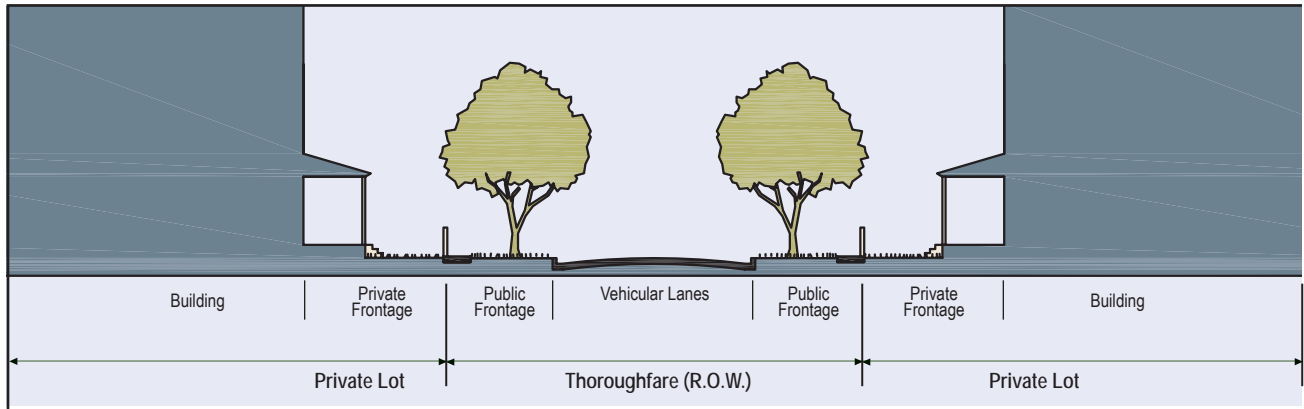
	T1	T2	T3	T4	T5	T6	SD
f. OTHER: AGRICULTURE							
Grain Storage	■	■					□
Livestock Pen	□	□					□
Greenhouse	■	■	□				□
Stable	■	■	□				□
Kennel	■	■	□	□	□	□	□
f. OTHER: AUTOMOTIVE							
Gasoline		□			□	□	■
Automobile Service							■
Truck Maintenance							■
Drive -Through Facility					□	□	■
Rest Stop	■	■					□
Roadside Stand	■	■					□
Billboard						□	□
Shopping Center							□
Shopping Mall							□
f. OTHER: CIVIL SUPPORT							
Fire Station			■	■	■	■	■
Police Station				■	■	■	■
Cemetery		■	□	□			■
Funeral Home				■	■	■	■
Hospital					□	□	■
Medical Clinic				□	■	■	■
f. OTHER: EDUCATION							
College					□	□	■
High School				□	□	□	■
Trade School					□	□	■
Elementary School			□	■	■	■	■
Other- Childcare Center		■	■	■	■	■	□
f. OTHER: INDUSTRIAL							
Heavy Industrial Facility							■
Light Industrial Facility						□	■
Truck Depot							■
Laboratory Facility						□	■
Water Supply Facility							■
Sewer and Waste Facility							■
Electric Substation	□	□	□	□	□	□	■
Wireless Transmitter	□	□					■
Cremation Facility							■
Warehouse						□	■
Produce Storage							■
Mini-Storage							■

■ BY RIGHT
 □ BY VARIANCE

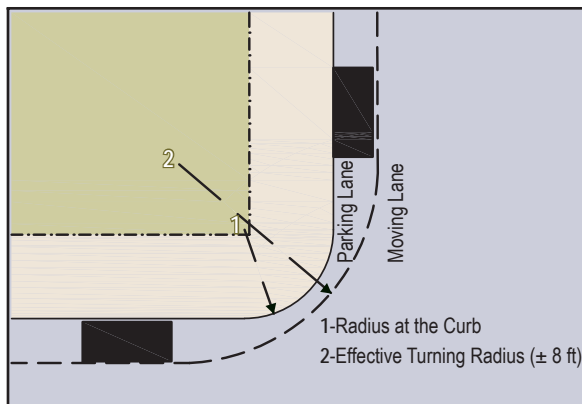
<p>a. Park: A natural preserve available for unstructured recreation. A park may be independent of surrounding building frontages. Its landscape shall consist of paths and trails, meadows, woodland and open shelters, all naturalistically disposed. Parks may be lineal, following the trajectories of natural corridors. The minimum size shall be 15 acres. Larger parks may be approved by warrant as districts in all zones.</p>	 <div style="float: right; text-align: center;"> <p>T1</p> <p>T2</p> <p>T3</p> </div>
<p>b. Green: An open space, available for unstructured recreation. A green may be spatially defined by landscaping rather than building frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be 2 acres and the maximum shall be 15 acres.</p>	 <div style="float: right; text-align: center;"> <p>T3</p> <p>T4</p> <p>T5</p> </div>
<p>c. Square: An open space available for unstructured recreation and civic purposes. A square is spatially defined by building frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important thoroughfares. The minimum size shall be 1 acre and the maximum shall be 5 acres.</p>	 <div style="float: right; text-align: center;"> <p>T4</p> <p>T5</p> <p>T5</p> </div>
<p>d. Plaza: An open space, available for civic purposes and commercial activities. A plaza shall be spatially defined by building frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas shall be located at the intersection of important streets. The minimum size shall be 1 acre and the maximum shall be 2 acres.</p>	 <div style="float: right; text-align: center;"> <p>T5</p> <p>T6</p> </div>
<p>e. Playground: An open space designed and equipped for the recreation of children. A playground shall be fenced and may include an open shelter. Playgrounds shall be interspersed within residential areas and may be placed within a block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.</p>	 <div style="float: right; text-align: center;"> <p>T1</p> <p>T2</p> <p>T3</p> <p>T4</p> <p>T5</p> <p>T6</p> </div>

Credit: Duany Plater-Zyberk & Co.

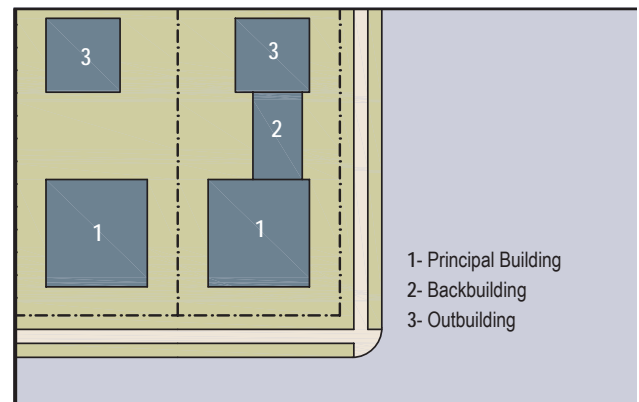
a. THOROUGHFARE & FRONTAGES



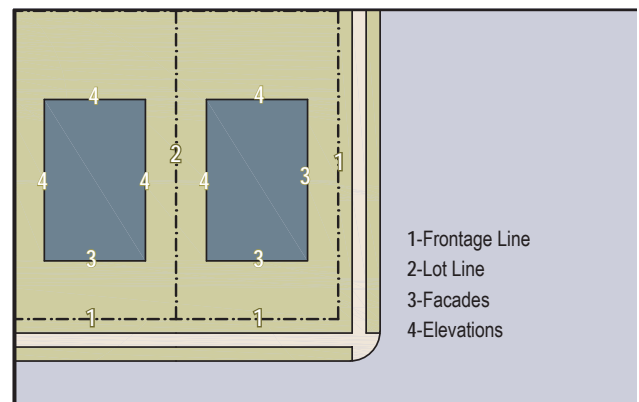
b. TURNING RADIUS



c. BUILDING DISPOSITION



e. FRONTAGE & LOT LINES



Credit: Duany Plater-Zyberk & Co.



BREAKAWAY

A NEW MOUNTAIN VILLAGE

ARTICLE 3

DEFINITIONS OF TERMS

This Article provides definitions for terms in this Code that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Article, then the BARC shall determine the correct definition of the term.

DEFINITIONS

Allee: a regularly spaced and aligned row of trees usually planted along a Thoroughfare or Pedestrian Path.

Ancillary Unit: an apartment not greater than 600 square feet sharing ownership and utility connections with a Principal Building. An Ancillary Unit may or may not be within an outbuilding. Ancillary Units do not count toward maximum density calculations.

Apartment: a dwelling unit sharing a building and a lot with other dwellings and/or uses. Apartments may be for rent or for sale as condominiums.

Avenue (AV): a thoroughfare of high vehicular capacity and low speed. Avenues are short distance connectors between urban centers. Avenues may be equipped with a landscaped median. Avenues become collectors upon exiting urban areas.

Backbuilding: a single-story structure connecting a principal building to an outbuilding (see Table 9).

Block: the aggregate of private lots, passages, rear lanes and alleys, circumscribed by thoroughfares.

Block Face: the aggregate of all the building facades on one side of a block. The Block Face provides the context for establishing architectural harmony.

Boulevard (BV): a thoroughfare designed for high vehicular capacity and moderate speed. Boulevards are long-distance thoroughfares traversing urbanized areas. Boulevards are usually equipped with slip roads buffering sidewalks and buildings. Boulevards become arterials upon exiting urban areas.

Building Configuration: the form of a building, based on its massing, private frontage, and height.

Building Disposition: the placement of a building on its lot (see Table 3- 9).

Building Function: the uses accommodated by a building and its lot. Functions are categorized as Restricted, Limited, or Open, according to the intensity of the use (see Table7).

Building Height: the vertical extent of a building measured in stories, not including a raised basement or a habitable attic. Height limits do not apply to masts, belfries, clock towers, chimney flues, water tanks, elevator bulkheads and similar structures. Building Height shall be measured from the average grade of the enfronting thoroughfare (see Table 5).

Building Type: a structure category determined by function, disposition on the lot, and configuration, including frontage and height (see Table 6).

By Right Permit: a proposal for a building or community plan that complies with this code and may thereby be processed administratively, without public hearing.

Civic: the term defining not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking.

Civic Building: a building designed specifically for a civic function. Civic Buildings

shall not be subject to the requirements of [Article 1]. The particulars of their design shall be determined by Variance.

Civic Parking Reserve: parking structure or lot within a quarter-mile of the site that it serves. Space may be leased or bought from this Reserve to satisfy parking requirements.

Civic Space: an outdoor area dedicated for public use. Civic Space types are defined by the combination of certain physical constants including the relationship between their intended use, their size, their landscaping and their enfronting buildings (see Table 8).

Commercial: the term collectively defining workplace, office and retail functions.

Common Destination: An area of focused community activity defining the approximate center of a Pedestrian Shed. It may include without limitation one or more of the following: a Civic Space, a Civic Building, a Commercial center, a bus stop. A Common Destination may act as the social center of a Neighborhood.

Context: surroundings made up of the particular combination of elements that create specific habitat.

Corridor: a lineal geographic system incorporating transportation and/or greenway trajectories. A transportation corridor may be a lineal urban Transect Zone.

Cottage: an edgeyard building type. A single-family dwelling, on a regular lot, often shared with an ancillary building in the rearyard.

Courtyard Building: a building that occupies the boundaries of its lot while internally defining one or more private patios.

Curb: the edge of the vehicular pavement detailed as a raised curb or flush to a swale. The Curb usually incorporates the drainage system.

Density: the number of dwelling units within a standard measure of land area, usually given as units per acre.

Design Speed: is the velocity at which a thoroughfare tends to be driven without the constraints of signage or enforcement. There are three ranges of speed: Very Low: (below 20 MPH); Low: (20-25 MPH); Moderate: (25-35 MPH); High: (above 35 MPH). Lane width is determined by desired design speed.

Developable areas: residual to the Preserved Open Sector.

Driveway: a vehicular lane within a lot, usually leading to a garage. A Driveway may be used for parking if it is no more than 18 feet wide, thereby becoming subject to the constraints of a parking lot.

Edgeyard Building: a building that occupies the center of its lot with setbacks on all sides.

Elevation: an exterior wall of a building not along a Frontage Line. See: Facade (Table 9)

Enfront: to place an element along a frontage line, as in "porches enfront the street."

Entrance, Principal: the main point of access of pedestrians into a building.

Estate House (Syn.: Country house, Villa): an edgeyard building type. A single-family dwelling on a very large lot of rural character, often shared by one or more ancillary buildings

Facade: the exterior wall of a building that is set along a Frontage Line (see Eleva-

tion; Frontage Line).

Frontage Line: those lot lines that coincide with a public frontage. Facades along Frontage Lines define the public realm and are therefore more regulated than the elevations that coincide with other Lot Lines (see Table 9).

Greenway: an open space corridor in largely natural conditions which may include Trails for bicycles and pedestrians.

Home Occupation: non-retail commercial enterprises permitted in Zones T3-6. The work quarters should be invisible from the frontage, located either within the house or in an outbuilding. Permitted activities are defined by the Restricted Office category (Table 7).

House (Syn.: Single): an edgeyard building type. A single-family dwelling on a large lot, often shared with an ancillary building in the rearyard.

Independent Building: a building designed by a different architect from the adjacent buildings.

Inside Turning Radius: the curved edge of a thoroughfare at an intersection, measured at the inside edge of the vehicular tracking. The smaller the Turning Radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn.

Liner Building: a building specifically designed to mask a parking lot or a parking garage from a frontage. A Liner Building, if less than 30 feet deep and two stories, shall be exempt from parking requirements.

Live-Work: a fee-simple dwelling unit that contains a Commercial component anywhere in the unit. (Syn.: Flexhouse.) (See Work-Live.)

Lodging: premises available for daily and weekly renting of bedrooms. The area allocated for food service shall be calculated and provided with parking according to retail use.

Lot Line: the boundary that legally and geometrically demarcates a lot (see Frontage Line). Such lines appear graphically on Community and Site Plans. Codes reference lot lines as the baseline for measuring setbacks (see Tables 9).

Lot Width: the length of the principal Frontage Line of a lot.

Manufacturing: premises available for the creation, assemblage and/or repair of artifacts, using table-mounted electrical machinery and including their retail sale.

Meeting Hall: a building available for gatherings, including conferences. It should accommodate at least one room equivalent to a minimum of 10 square feet per projected dwelling unit within the pedestrian shed in which the meeting hall is located. A Meeting Hall shall be completed upon the sale of 75% of the dwelling units. The Meeting Hall may be used for the marketing purposes of the development until the sale of 75% of the dwelling units, at which time control of its use shall be given to the [Community Council].

Mixed Use: multiple functions within the same building through superimposition or adjacency, or in multiple buildings within the same area by adjacency. Mixed use is one of the principles of TND development from which many of its benefits are derived, including compactness, pedestrian activity, and parking space reduction.

Neighborhood: an urbanized area at least 40 acres that is primarily Residential. A Neighborhood shall be based upon a partial or entire Standard Pedestrian Shed.

The physical center of the Neighborhood should be located at an important traffic intersection associated with a Civic or Commercial institution.

Office: premises available for the transaction of general business but excluding retail, artisanal and manufacturing uses.

Outbuilding: an accessory building, usually located towards the rear of the same lot as a Principal Building. It is sometimes connected to the principal building by a Backbuilding. Outbuildings shall not exceed 600 square feet of habitable space, excluding parking areas (see Table 9).

Parking Structure: a building containing two or more stories of parking. Parking Structures shall have Liner Buildings at the first story or higher.

Passage (PS): a pedestrian connector passing between buildings, providing short-cuts through long blocks and connecting rear parking areas to frontages. Passages may be roofed over.

Path (PT): a pedestrian way traversing a park or rural area, with landscape matching the contiguous open space. Paths should connect directly with the urban sidewalk network.

Pedestrian Shed: An area, approximately circular, that is centered on a Common Destination. A Pedestrian Shed is applied to determine the approximate size of a Neighborhood. A Standard Pedestrian Shed is 1/4 mile radius or 1320 feet, about the distance of a five-minute walk at a leisurely pace. It has been shown that provided with a pedestrian environment, most people will walk this distance rather than drive. The outline of the shed must be refined according to actual site conditions, particularly along Thoroughfares. The Common Destination should have the present or future capacity to accommodate a T5 Transect Zone for TND and a T6 Zone for RCD. A Long Pedestrian Shed is 1/2 mile radius or 2640 feet, and may be used for mapping when transit is present or proposed. (Sometimes called a "walkshed" or "walkable catchment.") A Linear Pedestrian Shed is elongated to follow a Commercial corridor. See Standard, Long, or Linear Pedestrian Shed.

Planter: the element of the public streetscape which accommodates street trees. Planters may be continuous or individual.

Principal Building: the main building on a lot, usually located toward the frontage (see Table 9).

Private Frontage: the privately held layer between the frontage line and the principal building facade. The structures and landscaping within the Private Frontage may be held to specific standards. The variables of Private Frontage are the depth of the setback and the combination of architectural elements such as fences, stoops, porches and galleries (see Table 4).

Public Frontage: the area between the curb of the vehicular lanes and the Frontage Line. Elements of the Public Frontage include the type of curb, walk, planter, street tree and streetlight (see Table 3).

Rear Alley (AL): a vehicular driveway located to the rear of lots providing access to service areas and parking, and containing utility easements. Alleys should be paved from building face to building face, with drainage by inverted crown at the center or with roll curbs at the edges.

Rear Lane (LA): a vehicular driveway located to the rear of lots providing access

to parking and outbuildings and containing utility easements. Rear lanes may be paved lightly to driveway standards. Its streetscape consists of gravel or landscaped edges, no raised curb and is drained by percolation.

Rearyard Building: a building that occupies the full frontage line, leaving the rear of the lot as the sole yard. This is a more urban type, as the continuous facade spatially defines the public thoroughfare. For its residential function, this type yields a rowhouse. For its commercial function, the rear yard can accommodate substantial parking.

Residential: premises available for long-term human dwelling.

Retail: premises available for the sale of merchandise and food service.

Retail Frontage Line: Frontage Lines designated on a Community Plan that require the provision of a Shopfront, causing the ground level to be available for retail use.

Road (RD): a local, rural and suburban thoroughfare of low vehicular speed and capacity. Its public frontage consists of swales drained by percolation and a walking path or bicycle trail along one or both sides. The landscaping consists of multiple species composed in naturalistic clusters. This type is allocated to the more rural Transect Zones (T1-T3).

Rowhouse: a single-family dwelling that shares a party wall with another of the same type and occupies the full frontage line (Syn: Townhouse; see Rearyard Building).

Setback: the area of a lot measured from the lot line to a building facade or elevation. This area must be maintained clear of permanent structures with the exception of: galleries, fences, garden walls, arcades, porches, stoops, balconies, bay windows, terraces and decks (that align with the first story level) which are permitted to encroach into the Setback

Shared Parking Policy: an accounting for parking spaces that are available to more than one function. The requirement is reduced by a factor, shown as a calculation. The Shared Parking ratio varies according to multiple functions in close proximity which are unlikely to require the spaces at the same time .

Sideyard Building: a building that occupies one side of the lot with a setback to the other side.

Sidewalk: the paved layer of the public frontage dedicated exclusively to pedestrian activity.

Specialized Building: a building that is not subject to Residential, Commercial, or Lodging classification. Most specialized buildings are dedicated to manufacturing and transportation, and are distorted by the trajectories of machinery.

Standard Pedestrian Shed: An area, approximately circular, that is centered on a Common Destination. A Pedestrian Shed is applied to determine the approximate size of a Neighborhood. A Standard Pedestrian Shed is 1/4 mile radius or 1320 feet, about the distance of a five-minute walk at a leisurely pace. It has been shown that provided with a pedestrian environment, most people will walk this distance rather than drive. The outline of the shed must be refined according to actual site conditions, particularly along thoroughfares. (Sometimes called a "walkshed" or "walkable catchment.") See Pedestrian Shed.

Story: a habitable level within a building of no more than 14 feet in height from finished floor to finished ceiling. Attics and raised basements are not considered stories for the purposes of determining building height.

Streamside Corridor: the zone within which a waterway flows, its width to be variably interpreted according to the Transect Zone.

Street (ST): a local urban thoroughfare of low speed and capacity. Its public frontage consists of raised curbs drained by inlets and sidewalks separated from the vehicular lanes by a planter and parking on both sides. The landscaping consists of regularly placed street trees. This type is permitted within the more urban Transect Zones (T4-T6).

Streetscape: the urban element that establishes the major part of the public realm. The streetscape is composed of thoroughfares (travel lanes for vehicles and bicycles, parking lanes for cars, and sidewalks or paths for pedestrians) as well as the visible private frontages (building facades and elevations, porches, yards, fences, awnings, etc.), and the amenities of the public frontages (street trees and plantings, benches, streetlights, etc.).

Streetscreen: sometimes called Streetwall. A freestanding wall built along the frontage line, or coplanar with the facade, often for the purpose of masking a parking lot from the thoroughfare. Streetscreens [should] be between 3.5 and 8 feet in height and constructed of a material matching the adjacent building facade. The streetscreen may be a hedge or fence by Warrant. Streetscreens shall have openings no larger than is necessary to allow automobile and pedestrian access. In addition, all streetscreens over [4 feet] high should be [30%] permeable or articulated to avoid blank walls.

Substantial Modification: alterations to a building that are valued at more than 50% of the replacement cost of the entire building, if new.

Terminated Vista: a location at the axial conclusion of a thoroughfare. A building located at a Terminated Vista designated on a Community Plan is required to be designed in response to the axis.

Third Place: a private building that includes a space conducive to unstructured social gathering. Third Places are usually bars, cafés, and corner stores.

Thoroughfare: a vehicular way incorporating moving lanes and parking lanes within a right-of-way (see Tables 2).

TND or Traditional Neighborhood Development: a Community Type based upon a Standard Pedestrian Shed oriented toward a Common Destination consisting of a mixed-use center or corridor, and having a minimum developable area of 80 acres. (Syn.: Village, Urban Village).

TOD: Transit-Oriented Development. TOD is Regional Center Development (RCD) with transit available or proposed.

Town Center: the mixed-use center or main Commercial corridor of a community. A Town Center in a hamlet or small TND may consist of little more than a meeting hall, corner store, and main civic space. A Town Center for RCD or TOD communities may be a substantial downtown Commercial area, often connected to other Town Centers by transit.

Townhouse: Syn. Rowhouse. (See Rearyard Building.)

Transect: a system of ordering human habitats in a range from the most natural to the most urban. The SmartCode is based upon six Transect Zones which describe the physical character of place at any scale, according to the density and intensity of land use and urbanism.

Transect Zone (T-Zone): Transect Zones are administratively similar to the land-use zones in conventional codes, except that in addition to the usual building use, density, height, and setback requirements, other elements of the intended habitat are integrated, including those of the private lot and building and the enfronting public streetscape. The elements are determined by their location on the Transect scale. The T-Zones are: T1 Natural, T2 Rural, T3 Sub-Urban, T4 General Urban, T5 Urban Center, and T6 Urban Core (see Table 1).

Transition Line: a horizontal line spanning the full width of a facade, expressed by a material change or by a continuous horizontal articulation such as a cornice or a balcony.

Type: a category determined by function, disposition, and configuration, including size or extent. There are community types, street types, civic space types, etc. (See also: **Building Type**.)

Variance: a ruling that would permit a practice that is not consistent with either a provision or the Intent of this Code (Section 1.2). Variances are usually granted by the Board of Appeals in a public hearing. See Section 1.5.

Work-Live: a fee-simple mixed-use unit with a substantial Commercial component that may accommodate employees and walk-in trade. Therefore the unit shall require ADA compliance for accessibility. (Syn.: Live-With.) (See **Live-Work**.)



BREAKAWAY

A NEW MOUNTAIN VILLAGE

APPENDICES

GENERAL INFORMATION: OVERVIEW

The Village Code is conceived and administered to guide the building of the community of Breakaway. This Code assures that all new buildings are harmonious with each other and with the language of the traditional architecture of the area.

The Village SmartCode is legally binding by contract with Breakaway Land Company L.L.C. as a condition of the purchase of land within the community. It is administered by the Breakaway Architectural Review Committee. The Breakaway Architectural Review Committee (BARC) reviews all improvements in Breakaway for adherence to the Village Code.

In matters of urban structure and aesthetics, the provisions of this Code shall take precedence over local zoning codes, subdivision regulations and ordinances. In matters of health and safety the local zoning codes and ordinances shall take precedence over the provisions of this Code. When conflicts occur between this Code and local ordinances, notification must be given to the BARC.

Exceptions to provisions of this Code are considered unique and are not to set a precedent for future exceptions. An exception may be granted administratively by the Breakaway Architectural Review Committee on the basis of hardship, merit or excellence.

The Village Code is a series of prescriptions, some of which are *mandatory* and others which are only *recommended*. The mandatory prescriptions are indicated by the verb *shall*. The recommended ones are indicated by the verb *should*. Options that are allowed but neither recommended or discouraged are indicated by the verb *may*.

While The Code covers a wide range of topics it can not be comprehensive. For this reason, the Breakaway Architecture Review Committee is required to make decisions based upon the professional expertise of its members that extend beyond the scope of this document. These decisions shall be strictly guided by the intent of The Code and the local vernacular architecture

The Village Code is subject to amendment at anytime and will be updated yearly with any such amendments. All decisions rendered by the BARC are grandfathered in a case where such amendments place a property in violation. However, any renovations, additions or improvements of any kind to the property are subject to the latest version of The Code at the time application is made for such improvements.

This document is supplemented by three additional documents to be used in conjunction, the Regulating Plan Urban Standards and the Thoroughfare Standards.

The Regulating Plan is a map showing the various transect-based zoning categories with precision. The Regulating Plan also shows the form and location of public spaces and the type and trajectories of thoroughfares.

The Urban Standards are a matrix of text and diagrams that regulate those aspects of private buildings which affect the public realm. The Urban Standards vary according to the zoning categories of the transect. These categories are allocated on the Regulating Plan. The Building Types Summary defines the streetscape and the building use. In the Building Types, there is detailed information about buildings such as lot size, setbacks, encroachments and building height. The standards defining streetscape encourage the provision of certain building types and frontage elements which influence social behavior are the Frontage Types. Building Function is a matrix of text that describes the uses permitted in each of the zoning categories. The uses include residential, lodging, office, retail, and manufacturing, each to various degrees, with emphasis on mixed use wherever possible. Parking needs are correlated to the various uses.

The Thoroughfare Standards are a matrix of drawings, specifications, and dimensions that assembles vehicular and pedestrian ways into sets, specialized in both capacity and character. These specify travel lanes, parking lanes, curbs, planters, street trees, street lights and sidewalks.

All site plans, architecture and landscape plans are subject to the approval of the Breakaway Architectural Review Committee.

To ensure authentic variety, no architecture firm shall prepare the schematic design of more than one contiguous block face.

It is the design intention, not the "letter", of this code to which properties and improvements must conform.

Materials other than those specified may be used subject to the approval of the Architectural Review Committee.

U R B A N S T A N D A R D S

Urban Standards control those aspects of private buildings that affect the public realm.

Civic Buildings are not regulated, but must develop their site plans in conjunction with the Breakaway Architectural Review Committee.

These regulations apply to all building types, unless otherwise stated below. Read these regulations carefully before turning to the Architectural Standards.

URBAN STANDARDS: GENERAL

1. Each side of a lot adjacent to a public rights-of-way shall be considered the lot front. Corner buildings must therefore treat both of their street facades as Frontages, in regard to setbacks, attachments, and other details. In other words, corner buildings have two fronts, one back, and one side. (See diagram in Definitions section).

2. Buildings with Rear Lane access must access their garage from the rear lane, and are not allowed curb cuts on adjacent streets.

3. Walls and fences, where present, shall sit on property lines. Walls and fences at Frontages and on front-yard side property lines shall be between waist and chest high. Walls and fences at Rear Lanes and on rear-yard side property lines shall be between waist and head high. Walls and fences at the sides of courtyards and rowhouse gardens shall be between chest and head high.

4. Additional attachments (porches, Balconies, etc.,) are always allowed to be inset within the building footprint provided (as are additional courtyards). Therefore, the absence of an Encroachment Zone does not mean that attachments are not allowed.

5. Building walls on lots designated "Zero-lot-line" adjacent to the property line shared with a neighboring house shall not provide any first-floor visual access into the adjoining lot. Clerestory windows are allowed. Adjoining property owners shall be allowed and encouraged to place a plant trellis against such walls.

6. If a detached garage is provided for parking, an ancillary dwelling unit is encouraged on the second story of the garage structure, and shall be required where indicated on the Regulating Plan.

7. Houses must be placed on the lot with the objective of preserving trees. All trees not located within the footprint of the house, garage, and driveway must be preserved. If an exception to these Standards allows the preservation of a significant tree, that exception shall be discussed with the Architectural Review Committee and Town Landscape Architect.

8. Buildings must have relatively flat fronts. No frontage may present more than six exterior corners to public view (exclusive of Attachments).

9. Roof overhangs may extend beyond their allowed building envelope but may not cross property lines, with the exception of extending into public rights-of-way at a height greater than seven feet.

10. Outbuilding balconies and bay windows may not cross property lines, with the exception of extending into public right-of-ways at a height greater than seven feet.

115. A gate must be provided on walls adjacent to rear lanes such

that pedestrians may pass from the house's rear yard to the lane without having to go through the garage.

12. In cases where a garage is located adjacent to the lot frontage, the structure shall be flush with the frontage line.

13. Front and side setbacks shall be overruled by site specific setback lines in the regulating plan.

ARCHITECTURE STANDARDS

The Architectural Standards specify the materials and configurations permitted for walls, roofs, openings and facades intended to produce visual compatibility among disparate building types. The standards relate to the vernacular building traditions of the region thus inheriting a suitable response to climate. The quality of the whole neighborhood is directly related to the quality of the individual buildings. These standards set parameters within which a range of options are possible. Because urban quality is enhanced by architectural harmony but is not dependent on it, the provisions of the architectural standards may range from liberal to strictly deterministic.

ARCHITECTURAL STANDARDS: GENERAL

1. All traditional building elements, shall be quoted accurately from historic precedent or not at all. Proportions and details shall be exactly as described in the *Traditional Construction Patterns* (Dover Press) book by Steve Mouzon.
2. Independent architectural eras and styles shall not be combined within a single building.
3. The proportion and detail of columns or piers in the classical language shall be as described in the *Traditional Construction Patterns* book by Steve Mouzon. It requires the correct use of the classical syntax, including capital, base, entasis and mouldings, corresponding with the selected order.
4. All architecture shall be based on the Eclectic Mountain Craftsman, Ashville Shingle Style or other similar and complimentary style [See Appendix F].
5. Efficiency: Building appliances including windows, doors, water heaters, lighting, and appliances should be selected on the basis of energy efficiency. Air conditioning equipment should have a SEER (Seasonal Energy Efficiency Ratio) rating of at least 12. Air conditioning should not be oversized and should be supplemented by ceiling fans and cross-ventilation. Buildings should be constructed with continuous air barriers and insulation barriers.
6. Sustainable Building Materials: Buildings should be built of "Green" building materials whenever they are available at reasonable cost. Sustainable materials can correspond to the following criteria: produced locally or salvaged, recycled and/or recyclable; rapidly renewable; durable; containing a low embodied energy; manufactured in a less environmentally hazardous or toxic manner; for wood, certified in accordance with the Forest Stewardship Guidelines for environmentally responsible forest management; for refrigerants and fire suppression devices, not containing CFCs or Halon gas. Common sustainable materials include cement/wood fiber composite siding, cellulose insulation, gluelam beams, and concrete made from fly ash.
7. Healthy Buildings: Indoor air quality should be ensured through the following techniques: specify paints, adhesives, finishes, and flooring products with low or no VOCs (Volatile Organic Compounds); specify carpeting and cabinets with low formaldehyde content; install airtight ducts; design ventilation systems that result in an air change effectiveness (E) greater than or equal to 0.9; air-seal buildings and keep water away from foundations and walls to prevent moisture, radon, and soil gases from entering; install a permanent CO₂ monitoring system.

ARCHITECTURAL STANDARDS: COMPOSITION

1. Greater care shall be lavished on frontages by the architect's design and the relative allocation of expense and workmanship.
2. The frontages of new buildings shall be harmonious with the block face on both sides of its street.
3. The design of the *Base*, as well as the quality and durability of its materials, should be emphasized. Base transition line locations depend on the overall height of the building. Usually this transition line occurs above the first floor on shorter buildings and either the first or second floor for taller buildings. This line should be between one third and one fifth of the building.
4. The *Body* of the building shall be differentiated from the base by a transition line at the top of the first, second or third floor. If adjacent buildings are lower than the proposed building, and judged likely to be permanent, then an effort should be made to have the transition line relate to them.
5. The *Cap* of the building should be between one fifteenth and one eighteenth of the building height. The upper transition line usually occurs below the top floor windows. In many cases this row of windows is square or shorter than the floors below.
6. Expression lines may consist of a continuous, shallow balcony; a short setback; or a slightly articulated trim course.
7. The transition should be supported by a change of window rhythm or size and a change in material or color.
8. The integral elements of a structure shall constitute a unified composition. This unification should be attained by utilizing the "Golden Section" The golden section is a mathematical system of proportions derived from the Pythagorean concept of universally harmonious relationships. The Golden Section is expressed algebraically by the equation: $(a/b)=(b/a+b)=1.618$
9. The openings on a frontage must remain within a void-to-solid ratio of no more than 45 percent with each facade measured independently. The void-to-solid calculations shall not include the shopfront. Disharmony arises when the range of void-to-solid variation is extreme, approaching that of the all-glass office building, or the multi-balconied condominium.
10. The solid-to-void ratio of the frontage includes fenestration (windows), porches, arcades, loggias and balconies. The minimum requirement for fenestration on facades shall be 20 percent.
11. Large buildings shall be broken up down by the articulation of the facade to a scale comparable to that of the rest of the buildings on the block face.
12. Buildings should be articulated to respond to specific relationships in the urbanism around them (i.e. acknowledging the corner of a block, emphasizing an entrance or terminating the visual axis of an adjacent thoroughfare).
13. The massing of a building should consist of a primary massing. This primary massing is the obvious main structure from which other simple volumes are added to its surface planes. This additive massing is how large buildings were created historically and is required in Breakaway.
14. Facades should not be articulated simply to add visual interest.
15. There shall be a dominant principal roof of unambiguous massing and clear hierarchy.
16. "Scattered window" facades are prohibited at frontages. Each facade shall present a unified, rational composition.

ARCHITECTURAL STANDARDS: STREETSCAPES

1. There shall be no deviation or interruption of the sidewalk by drop off or valet parking services.
2. Building entrances and the columns of arcades and galleries shall, when possible, be coordinated with street trees and on-street parking spaces.
3. Alleys should not be abandoned
4. Construction over streets and alleys, if at all, shall be habitable space.

ARCHITECTURAL STANDARDS: WALLS

1. Building Walls shall be stone, brick, stucco, smooth-cut wood shingle, wood tongue and groove and wood clapboard, dropsiding lightweight or cementitious (Hardiplank or equal) siding with a maximum of 8 inches to the weather or board-and-batten.
2. Building Walls shall show no more than two materials in addition to the basement or undercroft.
3. Materials shall change only along a horizontal line. The heavier material shall always be below the lighter material.
4. Materials and colors shall be subject to the approval of the BARC.
5. Stone shall be laid in historic patterns found locally.
6. Brick color is subject to the approval of the Architectural Review Committee.
7. Brick shall be "standard" or Roman sized and have minimal color variation.
8. Brick may be painted.
9. Brick shall be in a horizontal running bond, common bond, English bond or Flemish bond pattern with mortar joints of raked or grapevine pattern of not greater than ½ inches in height.
10. Mortar color value (lightness/darkness) shall approximate that of the brick or stone and be in the tan or warm range, not white.
11. Stucco shall be cement and may be integral color or painted. Finish shall be smooth-trowelled or sand-finished and shall not show the mark of the trowel.
12. Shingles shall be 8 inches maximum to the weather, machine cut with the bottom edges aligned.
13. Butt Joints between wood siding pieces may be caulked or covered, but must be painted.
14. Gables atop brick walls may be finished in stucco, wood or brick.
15. Front and Side Facades of any one building shall be made of the same materials, similarly detailed, etc.
16. Arches and Piers shall be stone, brick, stucco, or cast stone and no less than 12 x 12 inches
17. Posts shall be wood or synthetic wood approved by BARC and no less than 6 x 6 inches.
18. Columns shall be wood or synthetic wood, of the Tuscan or Doric orders and proportioned according to the standards set forth by *Traditional Construction Patterns*.
19. Intercolumnation (distance between columns) on the ground floor shall be vertically proportioned.
20. Foundation Walls, Piers and Pilings shall be brick or stone.
21. Expansion joints on facades are prohibited
22. Trim shall be a minimum of grade "B" lumber, hardiplank or Synboard, Azek (or equal) and shall not exceed 5/4 inches in depth or 6 inches in width at corners and around openings, except at the front entrance, which may be any size or configuration.
23. All Exposed Wood and Synthetic Wood Products at Frontages shall be painted or stained.
24. Certain trim elements (especially at the eaves or associated with balconies and trellises) may be made of heavy, finished timber.
25. Wood may be used for the fabrication of small architectural elements such as posts, brackets and railings.
26. The design of the wood components shall be drawn in detail.
27. Exposed roof beams and rafter tails are required.
28. Knee braces and brackets are strongly encouraged.

ARCHITECTURAL STANDARDS: ATTACHMENTS

1. Awnings on residential buildings are subject to the approval of the Architectural Review Committee. See "Storefronts-Awnings" for awnings on commercial buildings.
 - i. Balconies and porches shall be made of painted wood.
2. Porch decking shall be made of wood, brick, stone or stained concrete faced on three sides with brick or stone.
3. Porch openings shall be vertical in proportion.
4. Porches at Frontages shall not be enclosed with glass or screens.
5. Porches shall be a minimum of 8' deep unless approved by BARC.
5. Chimneys (and chimney enclosures), shall be brick, stone, or stucco, and shall extend to the ground and have a projecting cap.
6. Chimneys, including vented gas fireplaces, shall be a minimum of 2:1 proportion in plan and capped to conceal spark arresters. Flues shall be tile or metal left to age naturally or painted black and shall be no taller than required by the building code.
7. Chimneys Projecting From a Roof and not within 4' of an exterior wall may be simulated brick subject to the approval of the Architectural Review Committee.
8. Wood and Synthetic Wood Railings shall have top and bottom rails centered on the balusters.
9. Top rails shall be eased. Bottom rails shall clear the floor and have a vertical section.
10. Balustrades shall have a minimum diameter of 2 inches.
11. Maximum spacing between balustrades shall be 4 inches clear.
12. Metal Railings shall be painted gloss black or gloss dark green.
13. Stoops shall be finished in wood, stone or brick. Stoops shall be 4 to 6 feet deep.
14. Posts, Columns, and Balustrades shall be built of wood or synthetic wood approved by the BARC.
15. Flower Boxes on windows and railings shall be made of wood, Synboard, Azek (or equal) and are strongly encouraged.
16. Postal Numbers shall be placed on the facades facing primary frontages.
17. Keystones shall be radial to the arch.
18. Quoins are prohibited.
19. Galleries and Arcades shall extend to within 1 foot of the curb. The interior passage shall be a minimum of 10 feet wide and a minimum of 14 feet high. Openings to the frontage shall be vertical.
20. Rooftop Equipment shall be screened in a manner consistent with the architectural design of the building to minimize the negative aesthetic impact upon the view from neighboring buildings and from street level.
21. Decks shall be made of wood and shall be located only in rear yards. Decks and Stairs in rear yards adjacent to frontages, built of pressure treated wood shall be painted with the exception of the "floor" and the treads which may be painted, stained or left unfinished.
22. Undercrofts of Decks and Porches, Stoops at frontages and Undercrofts of Decks shall be skirted by framed wood or vinyl lattice with not greater than 1-1/2 inch spaces between the boards or be enclosed with horizontal wood boards, wood louvers or shingles.
23. Bay Windows shall extend all the way to the ground or be visually supported with brackets of appropriate size.
24. Balconies shall be visibly supported by brackets and shall be deep enough for a bistro table and chairs.
25. Porches, arcades and loggias may have high localized void-to-solid ratios. However, a continuous series of these elements can undermine the solidity of a façade and should be avoided.
26. Balconies are best used as a single, continuous element at the location of the upper -or lower- expression lines. They may also be used singly as a periodic element of the facade composition.
27. Cantilevered balconies shall be no deeper than 8 feet and shall be visibly supported by brackets. In the case of balconies that are nearly flush with the facade and associated with inwardly swinging doors (French balconies), there may be as many balconies as there are doors. Being co-planar with the façade, such balconies do not de-materialize the facade.
29. Loggias and arcades shall have columns and piers of a width and depth proportional to the height of the lentil. A rule of thumb is a width-to-height ratio between 1:6 and 1:8, but in no case less

ARCHITECTURAL STANDARDS: ATTACHMENTS

than 16 inches wide.

30. The proportion and detail of columns or piers in the classical language shall be exactly as described in the manual Traditional Construction Patterns by Steve Mouzon. It requires the correct use of the classical syntax, including capital, base, entasis and moldings, corresponding with the selected order.

31. Chimneys shall be substantial, no less than 32 x 32 inches in plan, and they shall be finished with a design at their top.

32. Waterspouts shall be made of stone, terra-cotta or metal.

33. Bay windows shall be fabricated of material other than the wall material and shall be three-sided.

35. Arcades shall span over the sidewalk. The outer facade of an arcade may be placed within 18 inches of the curb. Arcades shall be 14 feet clear from sidewalk to ceiling. This measure shall be taken to the top of the vault, or to the ceiling between visible beams or coffers. The ceiling of the arcade shall be formed as vaults or coffers or equipped with visible beams. The arcade shall be chamfered, or setback, to accommodate the required visibility triangle at intersections. There may be up to three stories of enclosed building space over the arcade.

ARCHITECTURAL STANDARDS: ROOFS

1. Sloped Roofs shall be slate, synthetic slate subject to the approval of the BARC, standing seam galvanized or painted metal or wood shingles.
2. Sloped Roofs, shall be a symmetrical gable, hip, gabled hip, hipped gable, bell hipped or cross gable between 10:12 and 18:12.
3. Shed Roofs (roofs which pitch in one direction) shall be permitted when the ridge is attached to an exterior wall of a building. The pitch shall be between 3:12 and 14:12.
4. Flat Roofs, where appropriate, are permitted only when they are occupiable and accessible from an interior room and shall be edged by a railing or parapet. Garages may have "flat" roofs which are not accessible. A parapet wall may be required as determined by the BARC.
5. Roof Penetrations, other than chimneys, shall not face frontages and shall be black or match the color of the roof except those made of metal which may be left natural.
6. Flashing shall be galvanized metal or copper.
7. Roofs shall overhang the gable end facing a primary frontage a minimum of 18 inches.
8. Eaves shall overhang a minimum of 18 inches.
9. Overlapping or "Nested" Gables are prohibited.
10. Gutters, downspouts and projecting drain pipes shall be copper (not copper-coated or anodized copper) galvanized metal, or anodized or electrostatic plate aluminum. In the absence of a gutter stone shall be placed at the drip edge.
11. Gutters shall be ogee at taut eaves and should be half-round but overhanging eaves.
12. Downspouts, shall be round and if not arranged as an integral part of the façade composition, shall be placed at the corners of the building least visible from frontages.
13. Splash Blocks shall be stone, brick, gravel or concrete.
14. Eaves shall be as deep and continuous as possible. Eaves may encroach into adjacent private properties a maximum of two feet.
15. Rafter Tails shall not exceed 6 inches in height at their ends and shall have a unique design not to be repeated within on two houses in sight of each other.
16. Gable ends shall have historically accurate and appropriately detailed rake and fascia trim.
17. Skylights are prohibited.
18. The Underside of Soffits and Roof Overhangs on taller buildings should be elaborated and well finished, as they are generally more visible from the street than the roof material.
19. Dormers shall be roofed with a symmetrical gable, hip, or shed roof and if provided, shall be habitable and placed a minimum of 3 feet from side building walls.
20. Natural roof ventilation using linear soffit vents, ridge vents and dormer vents is required; exposed roof vents such as turbines or power roof ventilators are not permitted.
21. Mixed-use or Commercial Buildings shall have a horizontal eave to the primary frontage.
22. The roof of a building may be flat, pitched, or both. The rooftop must be designed to be seen from taller buildings, existing or potential.
23. Flat roofs should be designed as a terrace attached to a penthouse. The materials, landscaping and furnishing of a terrace provides an adequate visual finish.
24. The location and masking of rooftop machinery shall be as consciously designed as any other aspect of the building. Parapets adequate to mask any negative impact from street level, as well as horizontally from adjacent building shall be required.

ARCHITECTURAL STANDARDS: WINDOWS

1. Windows shall be made of wood or Celuka Cellular PVC (e.g. Windsor Windows, Legend Series or equal) and shall have clear glass.
2. Windows in wood and simulated wood sided houses shall have a flat casing, 5/4 inch in depth; brickmold casing is appropriate in masonry walls.
3. Windows shall be double or triple-hung, operable casements or awnings.
4. Sliding and single-hung windows are prohibited.
5. Windows shall be rectangular with a vertical or square proportion; exceptions will be considered for Craftsman style configurations.
6. Multiple windows in the same rough opening shall be separated by a 4 inch minimum post.
7. The centerline of the window sash shall align within the centerline of the wall or closer to the interior.
Flush-mounted and projecting windows are prohibited.
8. Subject to the approval of the Architectural Review Committee, a limited number of windows may be circular, semi-circular, hexagonal, or octagonal.
9. Windows may be quarter-circular in shape when paired in a gable end.
10. A majority of the windows shall be rectangular with a width-to-height ratio between 1:1.5 and 1:3.
11. Windows in facades of single-family homes shall be no closer than 2 feet to the corners of the building.
12. Mullions at frontages, if any, shall be true divided lites or simulated divided lites (fixed on the exterior surface with spacer bars to cast a shadow).
13. Window Panes throughout the building shall be uniform in size or proportion, an exception being that openings may become proportionally smaller on the upper stories.
14. Single Glass Panes shall be no larger than 20 square feet.
15. Glass shall be clear and free of color. Stained glass and art glass are subject to the approval of the Architectural Review Committee.
16. Tinted and frosted glass and glass blocks is prohibited at frontages
17. Bay Windows shall have three sides and extend to the floor inside and to the ground outside, or be visually supported by brackets, and shall be 3 feet maximum in depth.
18. Bay windows shall be fabricated of material other than the wall material and shall be three-sided.
19. An Exterior Light with a photocell timed to be on from dusk to dawn shall be provided at doors of buildings and outbuildings facing a primary or secondary frontage.
20. Storefronts are addressed in the "Storefronts" section.
21. Storm Windows and Window Screens, if provided, shall cover the entire window area and are not to be divided.
22. Blank Walls at frontages are prohibited at frontages.
23. First floor walls shall have at least one window per structural bay and exposed basement walls shall have at least one small window per structural bay as appropriate for an occupied foundation.
24. Total Fenestration (rough window openings) on the front facade shall not exceed 30% of the total surface area.
 - d. Openings above the first Story shall not exceed 50% of the total building wall area, with each Facade being calculated independently.
25. The Primary Entrance to commercial and multifamily residential buildings shall face the primary frontage.
26. Transoms and Sidelights are encouraged.
27. Sidelights shall not exceed 12 inches in width, unless in a Craftsman style configuration.
28. Sidelights and transoms shall have true divided lites.
29. Lintels of stone or pre-cast concrete shall extend horizontally beyond the window opening a dimension equal to the height of the lintel. Brick soldier lintels shall extend one brick beyond the opening.
30. Lintels and Sills on adjacent windows should generally align to create a harmonious facade. Window sills should receive more emphasis than lintels, since the lintel already casts a shadow line. The window sill should extend slightly beyond the window opening and any surrounding trim, but shall not project more than 2 inches.
31. Shutters, if provided, shall be made of painted wood or syn-

ARCHITECTURAL STANDARDS: WINDOWS

thetic wood and shall be hinged on the side, either louvered or paneled, sized and shaped to match the associated openings and shall be applied to all or none of the typical windows on any given elevation.

32. Shutters shall be fully functional with all necessary hardware and shall be either louvered or paneled, sized, shaped and proportioned to match the associated openings.

33. Vents in foundation walls shall be cast iron grates, pierced stone or brick.

34. Windows at a minimum shall have a lintel, face frame and drip mold.

35. Windows shall be subdivided into lights by muntins, and the lights shall be square or vertical in proportion. The lights throughout the building shall be uniform in size or proportion, an exception being when windows become gradually smaller toward the upper stories.

36. Windows shall not be installed flush with the outer surface of the facade. Installation should be flush with the interior wall, as this increases the depth of the shadow cast. It is possible to turn the masonry unit inward at each opening to visually create a thick wall. This shall be the practice in the case of French balconies, loggias and larger openings.

37. Window sills should be provided, and lintels may be shown. The window sill should slightly overlap the width of the window opening, but shall not project more than 2 inches.

ARCHITECTURAL STANDARDS: DOORS

1. Doors at a minimum shall have a lintel, face frame and drip mold.
2. Doors and Garage Doors shall have glass, raised panels, or both.
3. Doors on second story balconies shall be glazed in the manner of french doors.
4. Sliding glass doors are prohibited.
5. Door hardware should be appropriate to the size and style of the door. Acceptable finishes include black iron, bronze or other natural finish metals. Protected bright brass is prohibited..
6. Garage Doors shall be natural, translucent or opaque stained or painted wood and shall be a maximum of 9 feet wide at frontages.
7. Garages must have carriage style doors to be approved by the BARC.
8. Doors (except garage doors) shall be side hinged (no sliders).
9. Paired Front Doors are prohibited.
10. Doors shall be natural, translucent or opaque stained or painted wood. Composite wood is prohibited.
11. Storm Doors and Screen Doors shall be finished to match the door they serve or the trim around it, and shall be full view and free of decorative trim.

ARCHITECTURAL STANDARDS: STOREFRONTS

1. Ceiling Height of Non-residential Stories shall be 12 feet minimum. 18 feet is recommended to accommodate a mezzanine level.
2. One continuous load bearing steel beam shall carry the entire load of the facade to the partition walls so that the storefront may be changed at will with no structural impediment.
3. Awnings, Lights and Signs may encroach into setbacks and across R.O.W. lines but not onto private properties.
4. Frontage Setbacks shall be paved to match the sidewalk. Alternative materials are subject to the BARC.
5. Store Doors, Windows, Awnings, Signage and Lighting shall be designed as a unified whole.
6. Storefront Windows shall sit on a 12 to 14 inch kneewall.
7. Windows and Doors shall comprise a minimum of 70 percent of the storefront facade.
8. Mullions are discouraged.
9. Muntins are encouraged.
10. Awnings shall be fabric (but not translucent fabric) or painted metal.
11. Fabric awnings shall have a metal structure covered with canvas or synthetic canvas and be rectangular in elevation with straight edges and no side panels or soffit and a minimum depth of 8 feet.
12. Awnings shall be retractable.
13. Awnings shall not be backlit.
14. All awnings on a single establishment shall be identical.
15. The cross-section of a storefront awning shall be different from that on the adjacent lot.
16. Awnings of the quarter-round variety are prohibited.
17. Storefronts shall have internal structural support to allow back bolting installation of signs and awnings whether or not signs or awnings are installed at the time of initial construction.
18. All Signs are subject to the approval the BARC.
19. Signs shall be made of wood, synthetic wood (synboard, Azek or equal), raw or porcelain enamelled metal.
20. The Postal Number shall be applied near the entrance. It may not be taller than six inches, unless constructed as a signage sculpture.
21. A Sign Band may be 60 percent of the width of the building frontage, with a height not to exceed two feet, with a height exception for tenants larger than 10,000 square feet. The sign shall be integrally designed with the building or the associated storefronts in material and color. The sign band may not be internally lit.
22. A Blade Sign may be attached perpendicular to the facade extending up to 4 feet from the frontage line and not exceeding 1.5 feet in height or extending up 2 feet from the frontage line and not exceeding 8 height in height.
23. One two-sided blade sign is permitted for each business with a door to the sidewalk.
24. Blade signs shall be affixed to the facade or storefront and may project over the sidewalk so long as it does not interfere with pedestrian flow.
25. Blade signs may not exceed four square feet in area and may not be translucent.
26. A Window Sign stating the name of the business, may be inscribed on the storefront glass, or with permanently-affixed cutout lettering or hand-painted gold letters.
27. An Awning Sign may have an inscription on its flap, so long as it does not exceed six inches in height.
28. A Plaque Sign shall be permanently affixed in a conspicuous location inscribed with the name of the architect and the date of completion. This plaque shall be discrete, less than 2 feet square and be made of bronze, aluminum, concrete or stone.
29. Billboards and other freestanding advertisements are prohibited, as are flashing, moving or internally illuminated signs.
30. Signs Painted on Building Walls may be permitted subject to the approval of the BARC.
31. Neon is permitted inside the building and may be permitted outside the building subject to the approval of the BARC.
32. Off-site and Detached Signs are not permitted unless approved by the BARC.
33. Letters may be any color. Signs shall be integral to buildings and/or commercial fronts (between the first floor lintels and second floor sills) or in the building entablature (between the top story lintel

ARCHITECTURAL STANDARDS: STOREFRONTS

and the eave). The background of the sign shall be larger than 2 feet in height and any length, and shall be externally lit only, not backlit. Letters shall be no larger than 20 inches.

34. Commercial Uses are encouraged to place tables, chairs and temporary displays on the public sidewalk provided a 5 foot-wide clear corridor is maintained for pedestrians.

35. All retail establishments shall be lit in the incandescent (warmer) spectrum, whatever technology is used. Small spotlights (ideally halogen) are recommended rather than a uniform wash of light. After closing, display lights should be kept on at approximately 50% power until 10 PM.

36. Storefront glass shall be clear, as any saturation will cause the display to become invisible behind the resulting reflection.

37. Neither reflective (mirror) nor colored glass shall be permitted on any shopfront or windows above.

38. The shopfront door, signage and lighting shall be designed as a unified design.

39. Facade colors shall be saturated earth tones selected from a single quadrant of the color wheel. This technique, without specifying particular colors, allows a range that is automatically harmonious.

40. Trim and attached elements may be white or a darker or lighter saturation of the wall color. Awnings, signage, doors and shutters may be any color, however, dark blues, greens and reds are traditional.

41. Vertically hinged shutters, when provided, shall coincide in size to the opening with which it is associated. Shutters may be made of any durable material.

42. All Security shutters, shall be designed to be visually integrated with the façade composition.

43. Commercial fenestration at the base should be not less than 70 percent void.

44. A shopfront shall have a kick plate between 18 and 42 inches high running continuously.

ARCHITECTURAL STANDARDS: OTHER

1. Harmonious Facade Colors shall be saturated earthtones selected from a single quadrant of the color wheel. This technique, without specifying particular colors, allows a range that is automatically harmonious.
2. Trim and attached elements may be contrasting or complimentary to the wall color. Signage, doors and shutters may be any color, however, gloss black and dark colors are recommended.
3. Parking Structures at frontages shall be masked by a habitable liner building at ground level and perhaps at upper stories.
4. The following items are prohibited at frontages: clothes drying apparatus, air conditioner equipment, utility or gas meters, solar panels, antennas, satellite dishes, garbage containers, bird baths or statuary (except that of museum quality which may be located in front and side yards), synthetic fauna and flora, permanent grills, in-ground swimming pools, firewood (except on porches), rock gardens and vegetable gardens, recreation and play equipment (except porch swings), cloth lines, doghouses and dog runs, hot tubs and spas, ponds, etc.
5. Flagpoles less than 6 feet long may be mounted at an angle to porch columns or posts and building walls. Free standing flagpoles are permitted on public property only.
6. Building Lighting shall be indirect incandescent.
7. Walls of strictly residential buildings shall not be flooded or washed with light.
8. Light Fixtures shall be compatible with the style of the building to which they are attached or otherwise associated.
9. All exterior lighting shall be of the incandescent or equivalent (warm) spectrum. Color corrected Metal Halide is recommended.
10. Parking lots shall be lit with Metal Halide lamps subject to availability.
11. Security System Signs shall be affixed to a building.
12. Real Estate Sign advertising a property for sale is permitted provided that it the sign approved by the BARC.
13. Rental signs are prohibited.

LANDSCAPE STANDARDS

The Landscape Standards are set up to guide site clearing and construction and design for each lot. In order to maintain the existing forest edges, and to promote the healing of the remaining flora within a lot, the builder shall be responsible for the following procedures. Builders and their subs whose practices permanently violate these procedures and/or damage the existing flora shall be excluded from further building within the Breakaway community, and are advised to warn their clients of this responsibility. The landscape design of Breakaway shall be naturalistic to fit in to the context of the mountainous setting. The informal landscapes of the German and Swiss mountain villages where the homes appear to have been placed in the forest is the primary precedent for the landscape of Breakaway. Planting designs should consider the characteristics of the Appalachian foothills flora in their designs, i.e. plantings shall be located in the cultivated landscape in a similar manner to their natural occurrence. Plantings shall have a loose, more casual feel and a less obvious "edge" than conventional plantings. A greater degree of deciduous plantings will change the architectural character of the homes during the winter by allowing one to see more of the building than is customarily seen.

LANDSCAPE STANDARDS: SITE CLEARING/CONSTRUCTION

1. Tree /Native Floral Preservation: The native floral areas shall be maintained and protected during the course of construction. Areas disturbed due to construction activities shall be restored, replaced with native materials and/or maintained in a healthy, vigorous growing condition.
2. To Preserve Soils, grades for thoroughfare and open spaces shall follow existing topography and drainage patterns, unless use dictates otherwise. Open spaces shall remain protected and undisturbed during construction. The deep soil structure of the remnant forest beyond the building footprint(s) shall be protected from compaction with fencing.
3. Existing topsoil from the building footprint shall be preserved. The remaining soil profile shall be protected from deep compaction during building construction by defining and staking access and construction zone during construction activities.
4. Erosion control shall consist primarily of hay bales supplemented by berms of chipped organic waste. These controls shall be monitored daily, and repaired as needed. Silt fence may be used in areas not accessible to public view, and in areas where hay bale control is inadequate.
5. Tree and shrub removal shall be done in a manner that causes the least amount of collateral damage to nearby stands of desirable trees and shrubs. Every opportunity to remove and relocate trees for reforestation shall be done.
6. Prior to tree removal in any area, the Town Landscape Architect shall survey the area to be cleared, and approve trees scheduled for removal.
7. Groups of trees, as well as large trees, shall be evaluated for preservation, and measures shall be taken during construction to ensure the long term survivability of same.
8. Lot grading to site each structure shall be the absolute minimum required to facilitate the construction of the house (maximum of 5 (five) feet beyond exterior wall of structure) and provide adequate outdoor terrace space. Access and work zones shall be staked prior to construction for approval the Architectural Review Committee. Builder shall confine clearing to within these areas. Foundations shall be excavated from within the building footprint, with excavators exiting site through the future garage and/or access easement and they shall ensure that access and storage for all building operations shall be along this path.
9. Areas beyond the designated work area shall be deemed 10. "Tree-Save Areas". Prior to construction, the root systems of the Tree-Save areas shall be isolated from foundation excavation and from construction traffic by trenching at the dripline. Following trenching, the trees shall be isolated from construction traffic by orange snow fencing, Tree-Save tape and/or armor (the rounded bark side piece leftover from milling), or by another method approved by the Architectural Review Committee.
11. The Architectural Review Committee shall review and approve all site modifications for building operations.

LANDSCAPE STANDARDS: LANDSCAPE DESIGN

1. Ground covers will dominate, and blend with smaller shrub masses. This will add instant age to the landscape, allowing the smaller trees to blend with the plantings.
2. Shrub masses shall be used as filtering screens, and shall be predominately deciduous. The genus and/or species shall be native to the site. Heavily flowering masses shall be limited to those shrubs that occur naturally on site or from the approved list.
3. Landscape plantings for the front yards shall reflect the naturalistic character of the sites. The shrubs and groundcovers that form the existing forest floor shall be the dominant plantings in the front yards. Genus selection shall be kept to a minimum.
4. The treescape, as described above, shall complement the lower plantings. In no case will conventional foundation plantings be allowed-- the architectural theme of the structure shall be coherent, and clearly stated through the plantings that support it massed plantings flowing from the foundation walls into the landscape are encouraged.
5. Turf grass lawns will not be allowed at frontages.
6. The front yard landscapes shall not be considered in isolation. Adjacent and across the street front yards shall be considered when evaluating the planting designs.
7. Rear yards are in the private domain and are more loosely regulated based on their visibility from public right-of-ways however, all effort shall be made to preserve the existing treescape and ground contours. Tree removal and/or grading shall be commenced only following approval by the Town Landscape Architect
8. The Side yards shall transition the front yards to the rear yards. Existing trees and grades shall be maintained. Tree removal and/or grading shall be commenced only following approval by the Town Landscape Architect.
9. At least one shade tree shall be planted for every 20 feet of residential frontage.
10. A minimum of two shade trees and one understory tree or evergreen tree shall be planted elsewhere on the lot.
11. When an alley or lane is present, an additional shade tree shall be planted within 8 feet of the back lot line. Planting additional trees is always permitted.
12. For residential landscapes, the planting plan shall incorporate a mix of the native plant material as a means of establishing a visually coherent long term spatial structure of the public landscape.
13. Substitution: A tree or trees may be substituted by a mass planting along the side property lines.
14. Species Selection: All trees and shrubs shall be native species.
15. Non-living ground cover materials shall be limited to the following: pine bark mulch (shredded or mini-nuggets), pine straw, wood chips.
16. Artificially colored mulches are not acceptable.
17. All pathways and/or walks connecting the house to the public sidewalks shall be a minimum of 5' in width, and shall be of a patterning complementary to the public sidewalk and the home.
18. Walks shall be stone, concrete pavers, brick pavers or poured concrete with stain.
19. Additional materials are acceptable only if approved in advance by the BARC.
20. The installation of two, two inch (2, 2") sleeves under all walks is required.
21. Both exotic and native plant materials are acceptable for raised/freestanding planters; however, native annuals and perennials are encouraged.
22. Planters may occur on both the interior and exterior of fences and walls, provided the planters do not interfere with the public transportation systems or parking areas.
23. All raised/freestanding planters are subject to approval by the BARC.
24. All fixtures, wattages, and locations of landscape lighting shall be approved by the Town Landscape Architect and/or the Architectural Review Committee.
25. All landscape lighting is subject to the approval of the BARC.
26. Up lighting of any description is prohibited.

LANDSCAPE STANDARDS: GARDENS

1. Fences shall be built of wood pickets, wood lattice or wood board, wrought iron.
2. Fences at primary frontages on neighboring lots shall be of different designs.
3. Fences Built of Wood shall be painted or stained with earth tones or a trim color when facing streets, sidewalks, parks, etc..
4. Fences and Garden Walls within 20 feet of a park, lake, wetland or other community open space shall be waist height.
5. Fences and Garden Walls at Frontages shall occur along front property lines or along frontage lines if attached to the front corner of the building.
6. The location of fences and garden walls elsewhere is subject to the approval of the Architectural Review Committee.
7. Fences, Garden Walls and Hedges at primary frontages shall be between waist and chest high.
8. Fences, Garden Walls and Hedges in locations other than at frontages shall be minimum of waist height and maximum of head high
9. Terminal Posts in Fences (corners, property line corners, openings, ends, etc..) shall be taller and wider than other intermediate posts.
10. Yard Fences (for side and rear yards) shall be made of closed wood boards, masonry, trellis, lattice or some combination thereof.
11. Fences may be placed on top of brick, stone, or stucco walls or placed between piers of these materials.
12. Hedges may be used in addition to fences.
13. Hedges may be used instead of fences subject to the approval of the Architectural Review Committee.
14. Garden Walls at frontages shall be brick, stone, or stucco to match the principal building.
15. Garden Walls of Brick or Stone shall be no less than 8 inches wide and capped in a brick rowlock course of brick, cut brick or dressed coping stone 1-1/2 inches to 3 inches thick and shall overhang the wall no less than 1/2 inch on each side.
16. Gates shall be built of the fence material.
17. Gates in Hedges shall be built of wood pickets or wood boards.
18. Gates in Garden Walls shall be wood, steel, or wrought iron.
2. Streetscreens shall be between 3.5 and 8 feet in height and constructed of a material matching the adjacent building Facade. The Streetscreen may be replaced by a hedge or opaque fence by Variance. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access
19. Retaining Walls at frontages shall be brick, stone or cast stone. Retaining walls elsewhere may be brick, stone, cast stone, concrete or wood.
20. Walks shall be built flush with the ground. Walks connecting to a brick public walk shall be brick .
21. Other walks and paths may be built of brick, stone, asphalt or concrete.
22. Walks connecting a house to the public sidewalk shall be a minimum of 3' in width, and be a material complimentary to the public walk as approved by the BARC.
23. Patios shall be brick, brick pavers, stone, slate, concrete, concrete pavers, gravel or other materials subject to approval of the BARC.
24. The following Outbuildings and Landscape Constructions shall be permitted and shall adhere to this Code: garages, workshops, guest houses, artisan studios, garden pavilions, greenhouses, gazebos, trellises, arbors, in-ground swimming pools, outdoor tubs, sauna, handball and squash courts, pool houses and equipment enclosures, dog houses, storage sheds, etc.
25. All landscape lighting is subject to the approval of the BARC.
26. Up lighting of any description is prohibited.

LANDSCAPE STANDARDS: PLANTING

1. Tree root balls shall be no more than 2 inches above the finished grade of the yard or planting strip. Root ball volcanos are prohibited.
2. Trees shall be a minimum of 3 inch caliper at the time of planting.
3. Reforestation efforts shall be focused on the forest of the future.
4. Soil in planting areas shall be amended to create optimal conditions for plant growth.
5. All disturbed (compacted) planting areas shall be loosened to a minimum depth of 6" inches unless damage to the remnant forest occurs during the removal of compaction. If damage will occur, selective loosening and supplement with heavy organic topsoil shall be done.
6. All areas with a destroyed soil structure of superficially compacted soil shall be loosened ONLY at the direction of the Architectural Review Committee.

DESIGN REVIEW POLICIES

Function of the Breakaway Architectural Review Committee (BARC). To ensure architectural harmony and adherence to the Village Code by all property owners. No structure or improvement shall be erected or altered until the approvals described in this document have been obtained.

Scope of Responsibility. BARC will review all improvements, including alterations and modifications to structures (even after initial construction is complete). Approval by BARC does not relieve an owner of the obligation to obtain government approval(s).

Limitations of Responsibilities. BARC reviews are for aesthetic purposes only. BARC does not assume responsibility for:

- Structural adequacy, capacity, or safety features.
- Non-compatible or unstable soil conditions, erosion etc.
- Compliance with building codes, safety requirements, and governmental laws, regulations or ordinances.
- Performance or quality of work of contractors.

Administration. BARC is appointed by the developer. BARC may appoint an administrator to handle the day-to-day responsibilities of processing applications. BARC will review applications as they are received. Review fees will be established by the developer.

Review Policies. BARC reviews the application and either grants approval, grants approval with conditions, defers the application or denies approval and returns one set of documents with comments. The owner shall be notified of the decision of BARC within thirty days. If BARC does not contact the owner within forty-five days, the application shall not be deemed "approved". BARC shall defer approval if the application is incomplete.

Compliance Fee. A compliance refundable fee of \$1000 per lot is required from the owner for proposed improvements. The deposit check shall be made payable to Breakaway and will be held by the developer until the improvements pass the Field Inspection and a Letter of Compliance has been issued by BARC. Full compliance will result in the return of the deposit. If the deposit is used to repair, replace, or clean up common areas that are damaged due to construction activities or to bring the improvements into compliance with the approved application, the owner will be notified forty-eight hours prior to the use of the deposit to allow the owner a final opportunity to rectify the problem.

Construction Observation & Enforcement. Periodic observations may be made by BARC to verify compliance of the improvements with the approved applications. To ensure compliance, BARC is empowered to enforce its policies as set forth in The Village Code, including action in a court of law. Should a violation occur BARC has the right to an injunctive relief which requires the owner to stop, remove, and/or alter any improvements in a manner that complies with The Village Code.

Waivers. BARC reserves the right to waive some or all of the requirements of The Village Code for any proposed improvement(s).

BARC receives submittals and other communications at:

Address: 300 Starling Lane, Franklin, TN 37064
Phone: 615-948-8702
Fax: 615-250-0554
E-mail: brian@tpudc.com

DESIGN REVIEW PROCEDURE

- I. **Sketch (Schematic) Design Review.** The intent of this review is to confirm conformance with The Village Code early in the design process. Submit:

-Form A

-Schematic Design Documents (two sets) including:

1. Block Plan at 1"= 40'.
2. Lot Plan at 1/8"= 1'-0"
3. Floor Plans at 1/8"= 1'-0"
4. Elevations at 1/8"= 1'-0"

- II. **Design Review.** This review confirms compliance of the design details with The Village Code and verifies that previous recommendations made by BARC have been incorporated. Submit:

-Form B

-Design Documents (two sets) including:

1. Block Plan at 1"= 100'.
2. Lot Plan at 1"= 20'.
3. Landscape Plan at 1"= 20'.
4. Floor Plans at 1/4"= 1'-0"
6. Elevations at 1/4"= 1'-0"
7. Building Section at 1/4"= 1'-0"
8. Wall Section & Details at 1- 1/2"= 1'-0"
9. Material List & Samples

- III. **Construction Documents Review.** Submit:

-Form C

-Construction Documents (two sets)

- IV. **Foundation Stakeout Inspection.** This inspection verifies to BARC's satisfaction that proposed buildings are situated on the lot as approved. Submit:

-Form D

- V. **Change During Construction.** For approval to make minor changes during construction, submit:

-Form E

-Additional Information to describe the change(s)

- VI. **Post-Construction Inspection.** This inspection confirms that built improvements comply with The Village Code. Submit:

-Form F

- VII. **Post-Occupancy Change Application.** This approval confirms that changes made after the initial occupancy comply with The Village Code. Submit:

-Form GREVIEW DOCUMENT REQUIREMENTS**Block Plan**

- a) North arrow, scale
- b) Building type and footprint
- c) Neighboring lots (in all directions)

Lot Plan

- a) North arrow, scale
- b) Property lines, dimensions and area
- c) Easements
- d) Building footprints with entries noted
- e) Encroachments, if any, dimensioned
- f) Sidewalks, driveways and patios
- e) Percent of lot coverage
- f) Finished floor elevations
- g) Existing and proposed grades and drainage
- h) Existing trees over 3" cal. and other natural features
- i) HVAC equipment

Landscape Plan

- a) Latin and common names of all material
- b) Size, quantity and location of all material
- c) Planting and maintenance specifications
- d) Garden elements such as retaining walls, paved surfaces, trellises, arbors, fences and gates etc.
- e) Location and design of lighting and signs

Floor Plans

- a) Room dimensions and uses labeled
- b) Encroachments, if any, dimensioned
- c) Total square footage
- d) Roof drip line

Roof Plan

- a) All roof penetrations

Elevations

- a) Openings, doors, and windows
- b) Materials rendered and specified, including colors
- c) Finished grade and finished floor elevations
- d) Building height to the eaves, ridges and parapet walls
- e) Overall height from grade at front setback
- f) Roof pitches
- g) Open or closed eave condition if any
- h) Awnings

Wall Sections and Details showing:

- a) Openings, doors, and windows (incl. heads and sills)
- b) Porches and balconies including railings
- c) Ornamental elements and trim
- d) Inside & outside corners (pilasters, corner boards, etc.)
- e) Eaves and cornices
- f) Columns, capitals, and bases
- g) Fences and garden walls
- h) Chimneys

Material List (with manufacturer and product)

- a) Roof, gutters and downspouts
- b) Exterior walls and trim
- c) Windows, doors and garage doors
- e) Fence and garden walls
- f) Sidewalk, driveway and patios

Building Section

- a) Floor elevations relative to proposed grade
- b) Floor-to-floor heights, roof slope and height

BREAKAWAY VILLAGE SMARTCODE
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APPENDIX E. DESIGN REVIEW APPLICATIONS

FORM A: SCHEMATIC DESIGN REVIEW

Property Address: _____ Lot Number: _____
Owner: _____ Phone: _____
Address: _____ Fax: _____
_____ E-mail: _____

Architect/Designer: _____ Phone: _____
Contact: _____ Fax: _____
Address: _____ E-mail: _____

Proposed Architectural Style: _____

Waivers from The Village Code must be expressly requested on this application. _____

For BARC use only:

Received by: _____ Date: _____

Approved Approved with Conditions Deferred Denied

Comments: _____

Reviewed by: _____ Date: _____

FORM B: DESIGN REVIEW

Property Address: _____ Lot Number: _____
Owner: _____ Phone: _____
Address: _____ Fax: _____
_____ E-mail: _____

Architect/Designer: _____ Phone: _____
Contact: _____ Fax: _____
Address: _____ E-mail: _____

Proposed Architectural Style: _____

Waivers from The Village Code must be expressly requested on this application. _____

For BARC use only:

Received by: _____ Date: _____

Approved Approved with Conditions Deferred Denied

Comments: _____

Reviewed by: _____ Date: _____

BREAKAWAY VILLAGE SMARTCODE
WOLF LAUREL, NORTH CAROLINA

APPENDIX E. DESIGN REVIEW APPLICATIONS

FORM G: POST-OCCUPANCY CHANGE REVIEW

Property Address: _____ Lot Number: _____
Owner: _____ Phone: _____
Address: _____ Fax: _____
_____ E-mail: _____

Architect/Designer: _____ Phone: _____
Contact: _____ Fax: _____
Address: _____ E-mail: _____

Proposed Architectural Style: _____

Waivers from The Village Code must be expressly requested on this application. _____

For BARC use only:

Received by: _____ Date: _____

Approved Approved with Conditions Deferred Denied

Comments: _____

Reviewed by: _____ Date: _____